

#### PLANNING COMMITTEE

Tuesday, 23rd January, 2018 at 7.30 pm Venue: Conference Room, The Civic Centre, Silver Street, Enfield, Middlesex, EN1 3XA Contact: Jane Creer / Metin Halil Committee Administrator Direct : 020-8379-4093 / 4091 Tel: 020-8379-1000 Ext: 4093 / 4091

E-mail: jane.creer@enfield.gov.uk metin.halil@enfield.gov.uk Council website: www.enfield.gov.uk

#### **MEMBERS**

Councillors : Toby Simon (Chair), Dinah Barry, Jason Charalambous, Nick Dines, Ahmet Hasan, Bernadette Lappage, Derek Levy (Vice-Chair), Anne-Marie Pearce, Donald McGowan, George Savva MBE, Jim Steven and Elif Erbil

N.B. Any member of the public interested in attending the meeting should ensure that they arrive promptly at 7:15pm Please note that if the capacity of the room is reached, entry may not be permitted. Public seating will be available on a first come first served basis.

Involved parties may request to make a deputation to the Committee by contacting the committee administrator before 12:00 noon on 22/01/18

### AGENDA – PART 1

### 1. WELCOME AND APOLOGIES FOR ABSENCE

#### 2. DECLARATION OF INTERESTS

Members of the Planning Committee are invited to identify any disclosable pecuniary, other pecuniary or non-pecuniary interests relevant to items on the agenda.

#### 3. MINUTES OF THE PLANNING COMMITTEE HELD ON TUESDAY 19 DECEMBER 2017

To receive the minutes of the Planning Committee meeting held on Tuesday 19 December 2017.

TO FOLLOW

## 4. REPORT OF THE ASSISTANT DIRECTOR, REGENERATION AND PLANNING (REPORT NO.143) (Pages 1 - 2)

To receive the covering report of the Assistant Director, Regeneration & Planning.

# 5. 17/05006/RE4 - MERIDIAN WATER, WILLOUGHBY LANE AND MERIDIAN WAY, LONDON N18 (Pages 3 - 34)

RECOMMENDATION: That planning permission be granted in accordance with Regulations 3 and 4 of the Town and Country Planning General Regulations 1992, subject to conditions WARD: Upper Edmonton

### 6. 17/02695/RE4 - LEICESTER HOUSE, 17 CAVENDISH CLOSE, LONDON N18 2LP (Pages 35 - 48)

RECOMMENDATION: Approval subject to conditions WARD: Edmonton Green

7. 17/03283/HOU - 3 SEAFORTH GARDENS, LONDON N21 3BT (Pages 49 - 66)

RECOMMENDATION: Approval subject to conditions WARD: Winchmore Hill

8. 17/03651/FUL - THE COTTAGE, CHURCH HILL, LONDON N21 1JA (Pages 67 - 86)

RECOMMENDATION: Refusal WARD: Winchmore Hill

9. 17/04799/ADV - PUBLIC FOOTPATH OUTSIDE, 124 - 146 VILLAGE ROAD, ENFIELD EN1 2EX (Pages 87 - 100)

RECOMMENDATION: Approval subject to conditions WARD: Bush Hill Park

## 10. S106 AGREEMENTS - MONITORING INFORMATION, MID YEAR REPORT (REPORT NO. 144) (Pages 101 - 122)

To receive the report of the Executive Director of Regeneration and Environment to provide an update on the monitoring of Section 106 Agreements (S106) and progress on Section 106 matters.

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#### 11. EXCLUSION OF THE PRESS AND PUBLIC

If necessary, to consider passing a resolution under Section 100A(4) of the Local Government Act 1972 excluding the press and public from the meeting

for any items of business moved to part 2 of the agenda on the grounds that they involve the likely disclosure of exempt information as defined in those paragraphs of Part 1 of Schedule 12A to the Act (as amended by the Local Government (Access to Information) (Variation) Order 2006). (There is no part 2 agenda) This page is intentionally left blank

### MUNICIPAL YEAR 2017/2018 - REPORT NO 143

### COMMITTEE:

PLANNING COMMITTEE 23.01.2018

#### **REPORT OF:**

Assistant Director, Regeneration and Planning

### **Contact Officer:**

Planning Decisions Manager David Gittens Tel: 020 8379 8074 Kevin Tohill Tel: 020 8379 5508

AGE	NDA - PART	1	ITEM	4
SUBJ	ECT -			
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#### 4.1 APPLICATIONS DEALT WITH UNDER DELEGATED POWERS INF

- 4.1.1 In accordance with delegated powers, 392 applications were determined between 07/12/2017 and 11/01/2018, of which 279 were granted and 113 refused.
- 4.1.2 A Schedule of Decisions is available in the Members' Library.

#### **Background Papers**

To be found on files indicated in Schedule.

#### 4.2 PLANNING APPLICATIONS AND APPLICATIONS TO DISPLAY **ADVERTISEMENTS** DEC

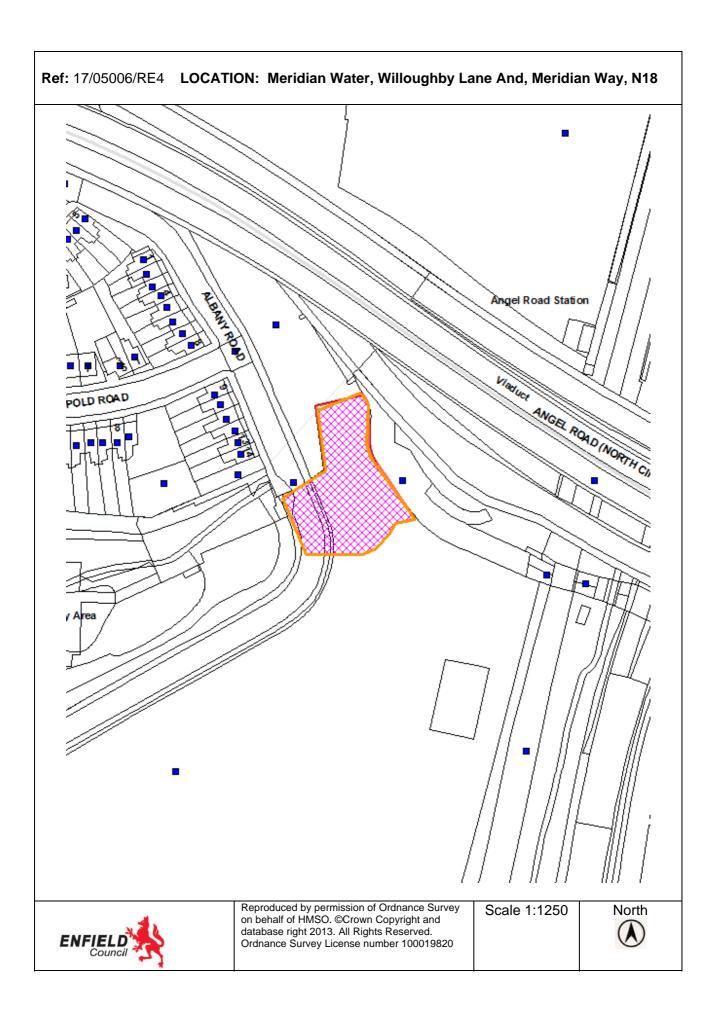
On the Schedules attached to this report I set out my recommendations in respect of planning applications and applications to display advertisements. I also set out in respect of each application a summary of any representations received and any later observations will be reported verbally at your meeting.

#### **Background Papers**

- Section 70 of the Town and Country Planning Act 1990 states that the (1) Local Planning Authority shall have regard to the provisions of the development plan, so far as material to the application, and to any other material considerations. Section 54A of that Act, as inserted by the Planning and Compensation Act 1991, states that where in making any determination under the Planning Acts, regard is to be had to the development, the determination shall be made in accordance with the plan unless the material considerations indicate otherwise. The development plan for the London Borough of Enfield is the London Plan (March 2015), the Core Strategy (2010) and the Development Management Document (2014) together with other supplementary documents identified in the individual reports.
- Other background papers are those contained within the file, the (2) reference number of which is given in the heading to each application.

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	IMITTEE	Date : 2	Date : 23 January 2018	
<b>Report of</b> Assistant Director, Regeneration & Planning	<b>Contact Officer:</b> Andy Higham Sharon Davidson Ms Claire Williams Tel No: 020837943	72	Ward: Upper Edmonton	
Ref: 17/05006/RE4		Category	Category: Full Application	
LOCATION: Meridian Wat	er, Willoughby Lane A	And Meridian V	Vay, London, N18	
PROPOSAL: Erection of a F and access from Albany Roa Applicant Name & Address Enfield Council Silver Street Enfield	ad. s: Ag Ar 13	Station (PRS) with associated parking, landscaping <b>Agent Name &amp; Address:</b> Ms Anna Richards Arup 13 Fitzroy Street London W1T 4BQ		
	-	1T 4BQ		
EN1 3XY RECOMMENDATION:	we <b>Granted</b> in accorda	nce with Regu	llation 3 and 4 of the Town and	
EN1 3XY RECOMMENDATION: That planning permission b	we <b>Granted</b> in accorda	nce with Regu	llation 3 and 4 of the Town and	

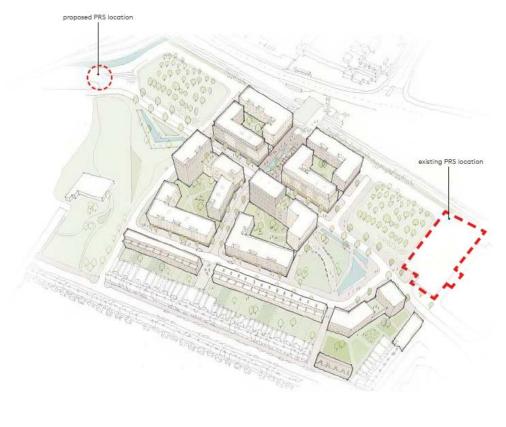


#### 1.0 Site and Surroundings

- 1.1 The application site is a former gasworks and is currently unused. The site measures approximately 0.125 hectares and is located to the north of phase 1 of the Meridian Water site that received outline planning consent on 10<sup>th</sup> July 2017 for the erection of up to 725 new residential units, commercial floorspace, a new station and associated infrastructure. The site also falls within the area covered by the remediation permission 15/04173/RE4 and includes the underlap areas at Albany Road and Pymmes Brook.
- 1.2 To the east of the site is Pymmes Brook, beyond which is the West Anglian Main Line (WAML). To the west of the site is Albany Road which consists of Meridian Angel Primary School and two storey terraced residential dwellings and to the north is the A406 North Circular Road.
- 1.3 The land immediately to the north of the site is unregistered land beyond which is land owned by Transport for London and the Environment Agency.
- 1.4 The site is located within Flood Zones 2 and 3, the Upper Lee Valley Opportunity Area and the Meridian Water Place Shaping Priority Area. The site is not located within a Conservation Area and the site does not comprise any listed buildings.

#### 2.0 Proposal

- 2.1 Planning permission is sought for the erection of a pressure reduction station (PRS) with associated parking, landscaping and access from Albany Road. The existing operational PRS located to the south east of the Meridian Water phase 1 site would be decommissioned under National Grid's permitted development rights. The existing and proposed PRS locations are shown in figure 1.
- 2.2 A PRS acts to reduce gas pressure so it can be safely delivered to residents in the area. It is used to regulate pressure rather than manufacture or store gas. Gas initially enters the distribution networks at high pressure. It is then transported through a number of reducing pressure tiers to lower the pressure of gas in the pipe network so it can be used in homes and at places of work. A PRS comprises below ground pipes and above ground structures. It safely connects pipe systems that operate at different pressures and includes equipment that monitors pressure



and allows safety inspections. The PRS equipment will be owned and managed by National Grid.

Figure 1 – Existing and proposed PRS location

2.3 The proposal includes a PRS compound that will be surrounded by an elliptical grey facing brick façade that would measure 3.5 metres in height. The compound would measure a maximum length of 26.5 metres and a maximum width of 13 metres. Within the compound there will be two parking bays, a PRS kiosk and PRS equipment that would be sited below ground level. The design of the PRS equipment would be the responsibility of the National Grid engineers. A panic gate to provide emergency access for pedestrians from the compound would be sited to the south east of the brick wall and lighting fixtures would be sited around the brick wall.

2.4 There will be a 3 metre 'no build zone' around the footprint of the PRS so that the compound can be adequately maintained and access for equipment is not restricted. At its narrowest point there would be a 5 metre buffer zone to Pymmes Brook.



Figure 2: Proposed PRS enclosure and existing fencing to be retained

- 2.5 The existing 2.4 metre high palisade fence that secured the whole of the former gas works will be retained and enhanced to act as security fencing. Two pedestrian gates and a vehicular gate sited between the existing brick piers are proposed to the west of the site so that access can be gained from Albany Park Road. This will be the temporary arrangement to secure the site until the Phase 1 Meridian Water proposals are developed and built out. Once the Phase 1 development comes forward alternative enclosure and security measures will come forward, commensurate with the changing environment and character of the development. The gates will be locked to prevent unrestricted access to the site. A ramped access to the enclosure is also proposed to ensure that the PRS equipment is housed above flood level.
- 2.6 The two proposed parking spaces would provide parking for two transit vans which National Grid will use to visit and maintain the PRS facility.

2.7 An interim landscape and access arrangement is proposed until such time as the details for phase 1 come forward. These details are already required by conditions attached to the outline planning permission. The site is not currently publicly accessible and will remain this way during the construction of phase 1 of the Meridian Water site.

#### 3.0 <u>Relevant Planning History</u>

#### Meridian Water Site

- 3.1 16/01197/RE3 Development of Phase 1 of Meridian Water comprising up to 725 residential units, new station building, platforms and associated interchange and drop-off facilities including a pedestrian link across the railway, a maximum of 950 sqm retail (A1/A2/A3), floorspace, a maximum of 600 sqm of community (D1) floorspace, a maximum of 750 sqm of leisure (D2) floorspace, associated site infrastructure works including ground and remediation works, roads, cycle-ways and footpaths, utility works above and below ground, surface water drainage works, energy centre and associated plant, public open space and childrens play areas, and various temporary meantime uses without structures (landscaping and open space). OUTLINE APPLICATION ACCESS ONLY. An Environmental Statement, including a non-technical summary, also accompanies the planning application in accordance with the Town and Country Planning (Environmental Impact Assessment) Regulations 2011 (as amended by the 2015 Regulations). Granted 10/07/2017
- 3.2 17/02952/RM Submission of reserved matters pursuant to condition 5, part (i) of outline planning permission ref: 16/01197/RE3 in respect of Layout in relation to the Station Building Site only for the new Station Building and platform (to replace Angel Road Station) including a pedestrian link across the railway at the Phase 1 site. Granted 18.09.2017 National Rail are set up on site and are ready to commence construction.
- 3.3 15/04173/RE4 The remediation of contaminated soils and shallow groundwater and removal of buried structures – Granted 26/11/2015 – Remediation works have commenced.
- 3.4 P13-03564PRI Removal of 2 no. gasholders and associated booster house building. Prior approval not required 11.04.2013 completed.

- 3.5 P13-01382PLA Temporary stockpiling of London Clay for a period of 24 months on western side of the site. Granted 29/11/2013 clay used as backfill and/ or removed from site. Land has now been reinstated.
- 3.6 SO/07/0005 EIA not required 04/02/2008

#### 4.0 Consultation

- 4.1 <u>Statutory and Non-Statutory Consultees</u>:
- 4.1.1 <u>Traffic and Transportation</u>: No objection subject to conditions relating to the review of access arrangements, limitation of the use of the vehicular gates to the servicing of the PRS and emergency vehicles and the use of gates onto the highway that open inward. The proposal is unlikely to generate significant additional vehicle trips or significantly impact on the free flow of traffic on the public highway or highway safety.
- 4.1.2 <u>Environmental Health</u>: No objection as there is unlikely to be a negative environmental impact and in particular there are no concerns regarding air quality, noise or contaminated land. The acoustic report adequately demonstrates that the pressure reduction station will not negatively impact upon nearby residential properties.
- 4.1.3 <u>Tree Officer</u>: No objection. Although there is a lack of adequate landscaping including tree planting, it is noted that this current development proposal is a short term scheme and further landscaping of the site will occur when the Meridian Water development is further advanced.
- 4.1.4 SuDS Officer:

Initially raised an objection due to inadequate information provided on flood risk and SuDS. For example there are no details of compensatory flood storage. The SuDS Officer requested an updated site plan that identifies the land along the river bank and to the north to act as both flood storage and SuDS features. The plan has been requested and is to be submitted. Members will be provided with an update at the meeting.

4.1.5 <u>Environment Agency</u>: No objection subject to a condition requiring details of a scheme for the provision and management of a minimum of 5 metre wide buffer zone alongside the Pymmes Brook to be submitted to and approved by the LPA.

Without the condition the proposed development would pose an unacceptable risk to the environment and the EA would raise an objection to the scheme.

- 4.1.6 <u>Transport for London (TfL)</u>: No objection. Requested a summary of the routes construction and servicing vehicles will take to the site and that vehicles do not visit the site during the pick-up and drop-off times at the Meridian Angel Primary School.
- 4.2 <u>Public</u>:

Letters were sent to 68 adjoining and nearby residents and no responses were received.

Prior to the submission of the application the applicant consulted the local community on the proposal. No responses were received by residents or the school and no formal comments were received by the local resident group, Residences of Edmonton Angel Community Together (REACT).

#### 5.0 <u>Relevant Planning Policies</u>

#### 5.1 <u>London Plan (2016)</u>

Policy 2.3 Growth areas and co-ordination corridors

Policy 2.6 - Outer London: vision and strategy

Policy 2.7 – Outer London: economy

Policy 2.8 – Outer London: transport

Policy 2.13 - Opportunity areas and intensification areas

Policy 2.14 - Areas for regeneration

Policy 2.16 - Strategic outer London development centres

Policy 4.1 – Developing London's economy

Policy 4.3 - Mixed use development and offices

Policy 5.1 – Climate change mitigation

Policy 5.2 – Minimising carbon dioxide emissions

Policy 5.3 – Sustainable design and construction

Policy 5.7 – Renewable energy

Policy 5.12 Flood Risk Management

Policy 6.3 - Assessing Effects of Development on Transport Capacity

Policy 6.13 – Parking

Policy 7.1 – Building London's neighbourhoods and communities

Policy 7.2 – An inclusive environment

Policy 7.3 – Designing out crime Policy 7.4 – Local character Policy 7.5 – Public realm Policy 7.6 – Architecture Policy 7.14 - Improving air quality Policy 7.15 – Reducing noise and enhancing soundscapes Policy 7.18 – Protecting local open space and addressing local deficiency Policy 7.19 – Biodiversity and access to nature Policy 7.21 - Trees and Woodland

#### 5.2 <u>Core Strategy (2010)</u>

Core Policy 13 - Promoting Economic Prosperity

- Core Policy 20 Sustainable energy use and energy infrastructure
- Core Policy 24 The Road Network
- Core Policy 28 Managing Flood Risk through Development
- Core Policy 29 Flood management infrastructure
- Core Policy 30 Maintaining and Improving the Quality of the Built and Open Environment
- Core Policy 31 Built and landscape heritage
- Core Policy 32 Pollution
- Core Policy 34 Parks, playing fields and other open spaces
- Core Policy 36 Biodiversity
- Core Policy 37 Central Leeside
- Core Policy 38 Meridian Water

Core Policy 40 - North East Enfield

#### 5.3 Development Management Document (2014)

- DMD37 Achieving High Quality and Design-Led Development
- DMD45 Parking Standards and Layout
- DMD46 Vehicle crossovers and dropped kerbs
- DMD47 Access, New Roads and Servicing
- DMD53 Low and Zero Carbon Technology
- DMD57 Responsible Sourcing of Materials, Waste Minimisation and Green Procurement

DMD58 - Water Efficiency

- DMD59 Avoiding and Reducing Flood Risk
- DMD61 Managing Surface Water
- DMD63 Protection and improvement of watercourses and flood defences
- DMD64 Pollution control and assessment

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DMD66 - Land contamination and instability DMD68 - Noise DMD69 - Light Pollution DMD79 - Ecological Enhancements DMD80 - Trees on development sites DMD81 - Landscaping

#### 5.4 Other Policy

National Planning Policy Framework 2012 (NPPF) National Planning Practice Guidance 2016 (NPPG) Edmonton Leeside Area Action Plan (Proposed Submission – January 2017) Upper Lee Valley Opportunity Area Planning Framework (July 2013) Meridian Water Master Plan (July 2013)

#### 6.0 <u>Analysis</u>

- 6.1 This report sets out an analysis of the issues that arise from the proposals in the light of adopted strategic and local planning policies. The main issues are considered as follows:
  - Principle of development
  - Design and appearance
  - Traffic and transport
  - Flood Risk
  - Landscaping and open space
  - Impact on the outline planning permission

#### Principle of Development

6.2 The application site lies within the boundary of the Edmonton Leeside Area Action Plan (ELAAP) and the Meridian Water Regeneration area, both of which occupy a strategic location within the London-Stanstead-Cambridge corridor. Edmonton Leeside is a priority area for regeneration, jobs and housing. Meridian Water is long established as a significant opportunity area for regeneration, through Enfield's Core Strategy (2010), the London Plan (2016) and the Upper Lee Valley Opportunity Area Framework (2013). It is the Council's largest regeneration priority area, identified in the Core Strategy as a location where a comprehensive approach to development will take place.

- 6.3 The creation of a new urban mixed use community at Meridian Water is set out in site specific planning policies contained in the adopted Local Plan (Core Strategy Policies 37 and 38). The objectives of new development at Meridian Water (as set out in Policy 38 of the Core Strategy) would be to create up to 5,000 new homes and 1500 new jobs and these figures have been subsequently revised upwards to 10,000 new homes and 6,000 new jobs as set out in the Proposed Submission Edmonton Leeside Area Action Plan (2017).
- 6.4 Development at Meridian Water will include all the necessary infrastructure to support the community and attract families and business to the area including: new schools; a mix of residential, retail and community uses; high quality public realm; reducing flood risk; sustainable housing embracing new technologies; high density development closer to Meridian Water rail station and waterfronts; new development to maximise the opportunities offered by waterfront locations; a new spine running through the area, connecting all parts of Meridian Water, linking new and existing communities; improved connectivity both north-south and east-west; integration with immediate employment areas,; a mix of housing types and tenures; new open space; restoration of waterways which run through the development.
- 6.5 The relocation of the PRS from the south of the phase 1 Meridian Water site to the north is important to the delivery of phase 1 and the wider Meridian Water site with regard to efficiency. The relocation of the PRS will allow for the IP main to be diverted. The current location of the IP means that the utilities required to service development plots need to cross the IP main at multiple locations, which would cause several indemnity liability challenges between the phase 1 development and National Grid. To support delivery of Phase 1, the IP needs to be diverted by mid-2018, and as such the PRS relocation is a priority project. It should be noted that the existing PRS site is not included within the existing outline planning permission and therefore the relocation of the PRS is subject to a new planning application.
- 6.6 The relocation of the PRS provides an opportunity to introduce a more effective use of the land to the south and develop the site in the future as part of the wider Meridian Water masterplan. The existing location of the PRS was tested for its viability when the Meridian Water masterplan was being developed. A series of massing and capacity studies were undertaken at the design stage, that illustrated how the site could be brought forward in the future as a residential development, improving the aspect and street conditions for all the plots bounding the existing PRS site and providing an active edge to the masterplan from the railway line. If the existing PRS site is to come forward for residential development itself then this will also need to be subject to a new planning application.

6.7 It should also be acknowledged that although there are constraints on the site, the proposed location of the PRS was assessed amongst eight other possible locations including land outside of Enfield's ownership and other open spaces within the phase 1 site. The application site was considered to be the optimum site for the PRS for a number of reasons: land being in ownership of Enfield Council, the availability of the site and therefore speed of delivery, that it would have the least impact on existing and proposed communities and existing and proposed open spaces, the opportunities for access from Albany Road and its proximity to the Intermediate Pressure (IP) gas main located close to Albany Road which would enable easy connection to minimise disruption and cost.

#### **Design and Appearance**

- 6.8 Policy CP30 of the Core Strategy requires new development to be of a high quality design and in keeping with the character of the surrounding area. Policy DMD37 sets out criteria for achieving high quality and design led development.
- 6.9 The building sits as an object like structure that integrates with the wider landscape and reduces the negative impact within the area. The form of the PRS has developed as a direct response to the cylindrical form of the former gas holders on the site. The elliptical form of the PRS enclosure seeks to reference the gas holders whilst concealing the PRS equipment from view to the public. The brick wall functions as both a visual and security screen to the public.
- 6.10 The compound would measure a maximum length of 26.5 metres and a maximum width of 13 metres and with an elliptical shape and maximum height of 3.5 metres. The enclosure would not appear dominant within the landscape. The remaining area of the application site would be landscaped which would blend in with the surrounding area that would comprise an open space and a naturalised brook. The proposed enclosure is simple, robust and references the sites history as a former gas works.
- 6.11 A materials specification was submitted with the application. The proposed external materials have been chosen to draw on the materials and colour palette of the existing and proposed surrounding infrastructure. A grey brick is proposed rather than a red or buff brick which is commonly used for residential units in the area to distinguish the PRS from residential units. It is important to ensure that the materials and details of the scheme are high quality and therefore a condition requiring details on the proposed external materials and boundary treatments will

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be required. A condition will also be attached that requires a sample of the antigraffiti coating to be applied to the external brick façade.

- 6.12 The enclosure has been designed to avoid façade treatments that people can climb up, ensures that the area between the PRS and Pymmes Brook is not overlooked and security fencing is retained and enhanced. All of these features will help to reduce the potential for security and safety issues arising in the future.
- 6.13 It is acknowledged that the wider Meridian Water Phase 1 landscape proposals have not been fully developed. There is some uncertainty around land acquisition and highway design and maintenance arrangements at this stage and therefore the landscape proposals for the application site cannot be fully developed. To allow the PRS to be delivered independently of phase 1 of Meridian Water and to ensure that the landscaping and public realm on the site is appropriately integrated with the wider phase, an interim solution for the landscape has been produced and the final landscape design will be agreed through reserved matters/ discharge of condition applications through the outline planning permission.
- 6.14 Possible future enclosure and landscaping scenarios have been included within the Design and Access Statement that was submitted with the planning application and are shown below. The scenarios show how the landscaping within the application site would sit within the wider context of Meridian Water in terms of landscaping and open space and that the proposal could be developed and delivered in line with phase 1 of the Meridian Water scheme. A condition would be required that requires details to be submitted to and approved by the LPA to capture the arrangements for the removal of the fencing once the details for phase 1 have been secured and built out.

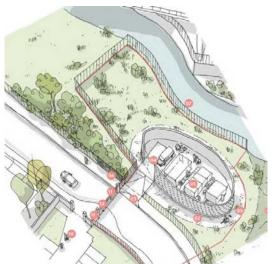


Figure 3: Proposed Scheme

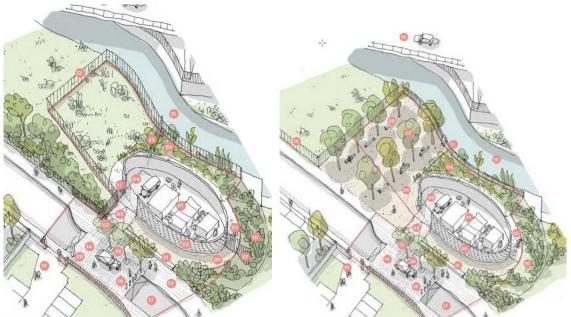


Figure 4: Illustrative future scheme A

Figure 5: Illustrative future scheme B

Impact on Residential Amenity

- 6.15 Any new development should not impact on the residential amenity of neighbouring residents. Policies 7.6 of the London Plan and CP30 of the Core Strategy seek to ensure that new developments have appropriate regard to their surroundings, and that they improve the environment in terms of residential amenity.
- 6.16 The Environmental Health Officer was consulted on the scheme and raised no objection to the proposal as there is unlikely to be a negative environmental impact. In particular there are no concerns regarding air quality, noise or contaminated land.
- 6.17 Due to the distance between the proposed structure and nearby residential properties which would measure a minimum distance of approximately 27 metres, the proposal would not result in any demonstrable harm to neighbouring residential amenity. The brick façade would not be excessive in height and the submitted Noise Assessment demonstrates that the PRS will not negatively impact upon nearby residential properties.

#### Traffic and Transportation

- 6.18 The London Plan, Core Strategy and DMD encourage and advocate sustainable modes of travel and require that each development should be assessed on its respective merits and requirements, in terms of the level of parking spaces to be provided for example.
- 6.19 Policy DMD45 requires parking to be incorporated into schemes having regard to the parking standards of the London Plan; the scale and nature of the development; the public transport accessibility (PTAL) of the site; existing parking pressures in the locality; and accessibility to local amenities and the needs of the future occupants of the developments.
- 6.20 National Grid will visit the site typically every fortnight for maintenance purposes and there is also likely to be a monthly routine maintenance check. Two parking spaces are proposed to be sited within the compound to be used by National Grid for maintenance of the PRS. The number of parking spaces proposed is considered acceptable given the nature of the scheme.
- 6.21 Policy DMD47 states that new development will only be permitted if the access and road junction which serves the development is appropriately sited and is of an appropriate scale and configuration and there is no adverse impact on highway safety and the free flow of traffic.

- 6.22 A requirement to house the PRS equipment above the flood level has meant a ramped access to the enclosure is necessary. This ramp will allow National Grid vehicles to reverse into the enclosure, to park in the two parking bays marked out within the compound and exit onto Albany Road in forward drive. To ensure clear access to the school at all times, a condition requiring details on signage limiting parking opposite the school gates would be required. TfL have also requested that a condition be attached to any permission that prevents vehicles from accessing the site during pick-up and drop-off times for the Meridian Angel Primary School.
- 6.23 The pedestrian and vehicular access gates will be locked with standard issue padlocks which emergency teams such as the police and ambulances will be able to unlock or break to allow emergency access.
- 6.24 Under phase 1 of the Meridian Water development, it was proposed that pedestrian access would be provided from Albany Road with restricted access for vehicles and the potential for a bus only route in the future. With Albany Road opening up in the future and becoming publicly accessible, the access arrangements to the PRS will need to be reviewed and alternative arrangements agreed. A number of options for maintenance access have been explored and discussed with the LPA and Traffic and Transportation prior to the submission of the application and these options are set out in the submitted Design and Access Statement and shown below. There are a number of outstanding matters however which prevent the identification of a preferred option for access in the future. These include national grid access requirements, pedestrian and vehicular safety constraints, and the need to determine whether Albany Road will become adopted highway, or remain a private road. Therefore future access arrangements will need to be secured through discharge of conditions and reserved matters through the Phase 1 permission or any variation of the permission.
- 6.25 T&T were consulted on the application and raised no objection as the proposal is unlikely to generate significant additional vehicle trips as there is an existing facility to the south, or significantly impact on the free flow of traffic on the public highway or highway safety as the majority of the activities will take place on private land behind a boundary fence. Conditions were suggested relating to the review of access arrangements in response to the delivery of each phase of the Meridian Water development, limitation of the use of the vehicular gates to the servicing of the PRS and emergency vehicles and the use of gates onto the highway that only open inwards. The conditions would be attached to any permission excluding the condition that relates to the review and amendment of access arrangements in response to the delivery of each phase of the delivery as the ordition would be attached to any permission excluding the condition that relates to the review and amendment of access arrangements in response to the delivery of each phase of the delivery of each phase of the delivery of each phase arrangements in response to the delivery of each phase of the Meridian Water development, as this

can be dealt with under the existing outline planning permission conditions and reserved matters.

#### Flooding

- 6.26 Policy DMD59 states that new development must avoid and reduce the risk of flooding, and not increase the risk elsewhere. Policy DMD61 states that a Drainage Strategy will be required for all development to demonstrate how proposed measures manage surface water as close to its source as possible and follow the drainage hierarchy in the London Plan.
- 6.27 The application site falls within Flood Zones 2 and 3 and is therefore considered to have a high to medium probability of flooding. The site is subject to fluvial flooding largely from the Pymme's Brook on the northern boundary. A flood risk and drainage strategy was submitted with the application. The Environment Agency is responsible for the management of the Pymme's Brook and the brook bank is subject to an easement for access.
- 6.28 Policy DMD63 of the DMD requires that new development should be set back from main rivers and ordinary watercourses, in the case of the former, maintain a minimum 8 metre buffer strip, which should be free of development and naturalised where feasible. An 8 metre buffer zone with the Pymmes Brook was agreed under the outline planning permission (condition 54), however due to site constraints and the PRS size requirements it was not possible to maintain a continuous 8 metre buffer. Following discussions with the EA, it was confirmed by them that they do not have an issue with the proposed buffer strip on the basis that it is a narrow section where there is only 5 metres and further upstream there is a much larger area where there is no built footprint at all to compensate. The Environment Agency were consulted on the application and raised no objection to the scheme subject to a condition relating to the provision and management of a minimum 5 metre wide buffer zone along the Pymmes Brook. The EA also highlighted that the proposals for the banks within the application site must tie in with the proposals for the wider development. As the proposal would not fully comply with the requirements of condition 54 of the outline planning permission an application would need to be submitted to amend the wording of the condition to reflect this condition.
- 6.29 As part of the Meridian Water Phase 1 Flood Risk Assessment (FRA), a review was undertaken of the volume of flooding within the development. The flood areas and flow paths were affected by the development and therefore compensation

areas were proposed, these included a number of areas which can flood sequentially in the event of flooding in the Pymme's Brooke. The Brook Community Park, adjacent to Pymmes Brook formed part of the flood strategy for the phase 1 site and as such, the Pymme's Brook would be allowed to flood within a given area. The Planning Statement states that the site will be contoured in the future as part of a flood strategy and the PRS was developed to be capable of integrating into these proposals by allowing the flood embankment to wrap around the building, embedding the structure in the landscape.

- 6.30 The location of the PRS would impact on the current strategy for flood mitigation set out in the approved phase 1 of Meridian Water however an option to extend the flood mitigation to the south has been suggested. The PRS footprint extends into the area currently designated for flood mitigation under the consented Meridian Water Phase 1 strategy. The Design and Access Statement sets out that the loss of the flood compensation area resulting from the PRS footprint is approximately 260m3. In order to mitigate for this impact, the flood compensation area within Meridian Water Phase 1 will be extended southwards by 2.5 metres. The flood compensation area is approximately 55 metres wide and the flooded volume depth is approximately 2 metres deep, therefore extending the compensation south by 2.5m provides 275m3 to mitigate the loss due to the PRS. The Design and Access Statement also sets out that this amendment will be made through a separate application under Section 96A for a non-material amendment to the Phase 1 permission if required by the LPA. However the current application will also need to provide flood compensation areas within the application site. The SuDS Officer requested that a plan showing that the landscaped areas will also act as flood storage and SuDS features be provided. This drawing has been requested and will form part of the approved drawings.
- 6.31 The area of the proposed PRS has an existing ground level of between 11.0mOD and 11.2mOD. This is below the flood levels of 11.45 metres identified by the Environment Agency. The ground level is consequently proposed to be raised to 11.6m for the areas of plant area and building and 11.35 for areas of parking. The lower level in the parking area is to allow for access to Albany Road, where existing levels need to be maintained. The proposed levels have been designed to suit the PRS layout and raise it above the flood levels.
- 6.32 In terms of drainage, the site is proposed to be attenuated by allowing infiltration through the permeable finishes with a land/filter drain system within the build-ups over the remediation capping layer. A channel drain would be provided at the base of the access ramp to the PRS, which would be connected to the land drainage system. The network would outfall to the Pymmes Brooke, with a hydrobrake or

similar flow control device. The SuDS Officer has raised a number of points regarding sustainable drainage such as the highway drainage being diverted into a SuDS feature to treat runoff before it discharges into the Pymmes Brook and whether geological investigations have been undertaken that supports the use of infiltration at this location. It is not considered appropriate to refuse the application on this basis as a condition can be attached to any permission to ensure that a drainage strategy is submitted to the LPA for approval.

6.33 The SuDS Officer initially raised an objection due to inadequate information provided on flood risk and SuDS. For example there are no details of compensatory flood storage. Discussions have taken place and given the comments received from the EA, the flood risk assessment that was submitted under the outline planning permission and to prevent delays to the programme the SuDS Officer requested an updated site plan that identifies the land along the river bank and to the north to act as both flood storage and SuDS features and an appropriate condition requiring the submission of an updated drainage strategy.

#### Trees, Landscaping and Biodiversity

- 6.34 Policy DMD80 seeks to protect trees of significant amenity or biodiversity value. Policy DMD81 sets out that developments must provide high quality landscaping that enhances the local environment and should add to the local character, benefit biodiversity, help mitigate the impacts of climate change and reduce water run off.
- 6.35 Remediation will result in the removal of all of the existing vegetation on the site. A landscape specification was submitted with the application and it is proposed that all soft landscaped areas will be hydroseeded with a meadow mix (wet meadow) in order to uplift the site's ecological and biodiversity value following the remediation of the area. The hydroseed mix will contain at least 20 species.
- 6.36 The outline planning consent on the site proposes that the brook edge to the south of the PRS site is naturalised and integrated with tree planting and seating, allowing a new public park at the north eastern boundary of the Phase 1 site. With regard to the long term PRS landscape design the intention is to continue the riverine planting from the Pymmes Brook into the site. This will include river bank tree species, marginals (where appropriate) and wet meadow species.

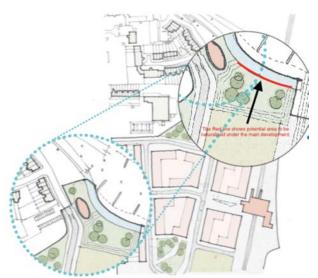


Figure 6: Area to be naturalised under Phase 1 of Meridian Water

- 6.37 It is acknowledged that the wider Meridian Water Phase 1 landscape proposals have not been fully developed. There is uncertainty around land acquisition and highway design and maintenance arrangements and therefore the landscape proposals for the application site cannot be fully developed. To allow the PRS to be delivered independently of phase 1 of Meridian Water and to ensure that the landscaping and public realm on the site is appropriately integrated with the wider phase, an interim solution for the landscape has been produced and the final landscape design will be agreed through reserved matters/ discharge of condition applications through the outline planning permission.
- 6.38 Possible future landscaping and access scenarios have been included within the Design and Access Statement that was submitted with the planning application. The scenarios show how the landscaping within the application site would sit within the wider context of Meridian Water in terms of landscaping and open space and that the proposal could be developed and delivered in line with phase 1 of the Meridian Water scheme (see figures 3 5).
- 6.39 The area to the north of the site is unregistered land and was not included in the red line of the outline planning application boundary and therefore the land would not be covered by the planning conditions attached to the outline planning permission. Although the illustrative proposals show that the area will be landscaped, the area does not form part of the application site under the PRS

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scheme or the phase 1 permission and therefore there is no certainty with the delivery of this landscaping unless the land is acquired.

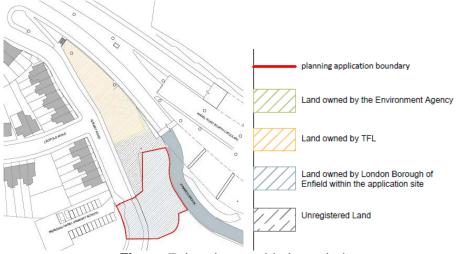


Figure 7: Landownership boundaries

- 6.40 The Tree Officer was consulted on the application and raised no objection because although there is a lack of adequate landscaping including tree planting, the proposal is a short term scheme and further landscaping of the site will occur when the Meridian Water development is further advanced.
- 6.41 The Planning Statement sets out that the Environmental Statement submitted with the outline planning consent found that the application site which is largely devoid of vegetation and thus the potential for biodiversity is low.
- 6.42 Conditions would be attached to any grant of planning permission to ensure that the proposal enhances landscaping and biodiversity across the site.

#### Public Open Space

6.43 Policy CP34 of the Core Strategy seeks to protect and enhance existing open spaces and seek opportunities to improve the provision of good quality and accessible open space. The policy requires the provision of new open space at Central Leeside as part of the regeneration of Meridian Water. Policy DMD72 of the DMD requires all new major residential development must be accompanied by proposals to improve open space provision.

- 6.44 Phase 1 of the Meridian Water site was assessed against these policies and the application site was proposed to form part of an open space. Although the site is not in an area with a deficiency of open space, the outline permission secures a minimum of 0.95ha of public open space to be delivered in the form of 6 spaces, made up of the Northern Community Park; the Southern Community Park; the Brook Community Park, adjacent to Pymmes Brook; the Western Station Square; the Eastern Station Square; and a local play space to the rear of Kimberley Road. The outline planning permission would also include the provision of 0.43 hectares of informal and formal public play space.
- 6.45 The open space to be delivered under phase 1 falls below the borough standard which suggests a requirement for 4.08 hectares of public park. The proposal would result in a further loss of open space. However as discussed previously in this report this site was considered to be the optimum site to relocate the PRS. It should also be noted that the PRS compound would have an area that would measure approximately 250 square metres and the remaining area of the application site would consist of soft landscaping. In the future the site will integrate with the wider site and contribute to creating a green network across the Meridian Water site. As set out in the committee report for the outline planning permission an increase in open space at the expense of residential development would make the development unviable and therefore the level of provision is considered acceptable. The role of the open space in providing east-west linkages to existing residential areas in Kimberley Road and via the proposed Causeway to the Lee Valley Regional Park to the east are also recognised.

#### Contamination, noise and air quality

- 6.46 Policy DMD64 sets out that planning permission will only be permitted if pollution and the risk of pollution is prevented, or minimised and mitigated during all phases of development.
- 6.47 A noise assessment was submitted with the application. The closest existing and proposed sensitive receptors were identified as Albany Road residents and the proposed Meridian Water development. The document concluded that the proposed PRS facility would have a negligible impact on the noise environment at the existing and future receptors and no mitigation measures will be required. The proposals are therefore considered suitable for the existing environment.

- 6.48 The application site was a former gas works and has been subject to a separate remediation application which provides the strategy for remediating the application site (as part of a wider remediated area). The planning application for the remediation work has been approved and is under implementation. In addition, the outline planning permission for Meridian Water Phase 1 undertook an assessment of contamination on the application site, and set out the additional remediation that would be required to make the site fit for occupation as a residential scheme. A series of conditions were attached to the consent which cover the application site and several conditions relating to remediation will need to be attached to any permission.
- 6.49 The Environmental Health Officer was consulted and raised no concerns with the scheme as there is unlikely to be a negative environmental impact and in particular there are no concerns regarding air quality, noise or contaminated land. The Environment Agency were also consulted on the scheme and did not raise any concerns on environmental issues. The acoustic report adequately demonstrates that the pressure reduction station will not negatively impact upon nearby residential properties.

#### Impact on Meridian Water Phase 1

- 6.50 The timescale for the commencement of the residential development on the main site is still not known, although works are underway on the delivery of the new station. However, this is a standalone application and the intention is to start works on the relocation of the existing PRS and the construction of the new facility from April 2018. Consequently relevant conditions will be attached to the permission that are in line with the outline planning permission to ensure that the site does not undermine future strategies on the main site. The main site conditions and obligations will apply to the PRS site. The phase 1 Meridian Water S106 will therefore need to be amended to include reference to the PRS site and the planning permission once granted but recognising that site-wide obligations will also apply to this application site. It should be noted that whilst a draft S106 was agreed and appended to the outline planning permission, the agreement could not be signed as the developer was not in place and this remains the case. The wording of condition 2 of the outline planning permission requires an agreement in broadly the same form i.e. the legal interests in the land shall be bound under the S106 agreement.
- 6.51 The detailed wording of all the required conditions has not yet been fixed although the issues to be addressed by condition have been highlighted throughout this

report and are summarised below. In this regard, Members are being asked in considering the officer recommendation to grant planning permission and to also grant delegated authority to officers to agree the final wording for these conditions.

<u>CIL</u>

6.52 There would not be an increase in floor space that would exceed 100 square metres and therefore the scheme is not liable to the Mayoral or Enfield CIL.

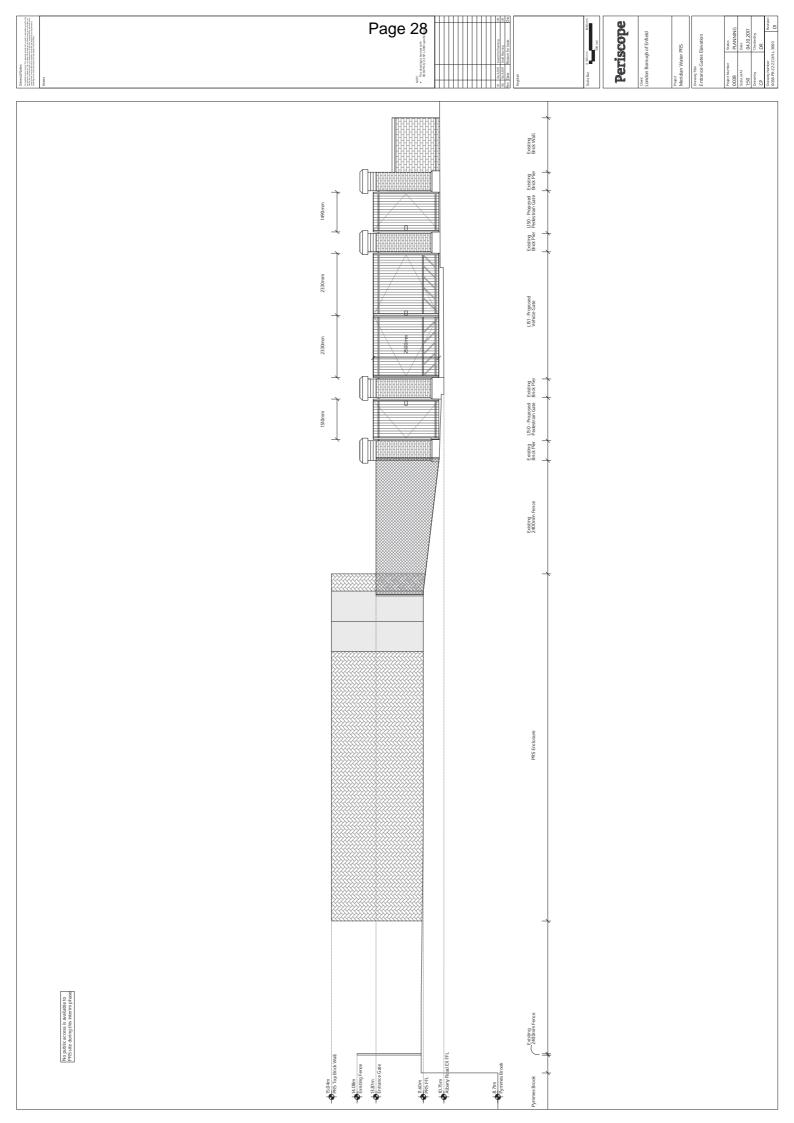
#### 7.0 Conclusion

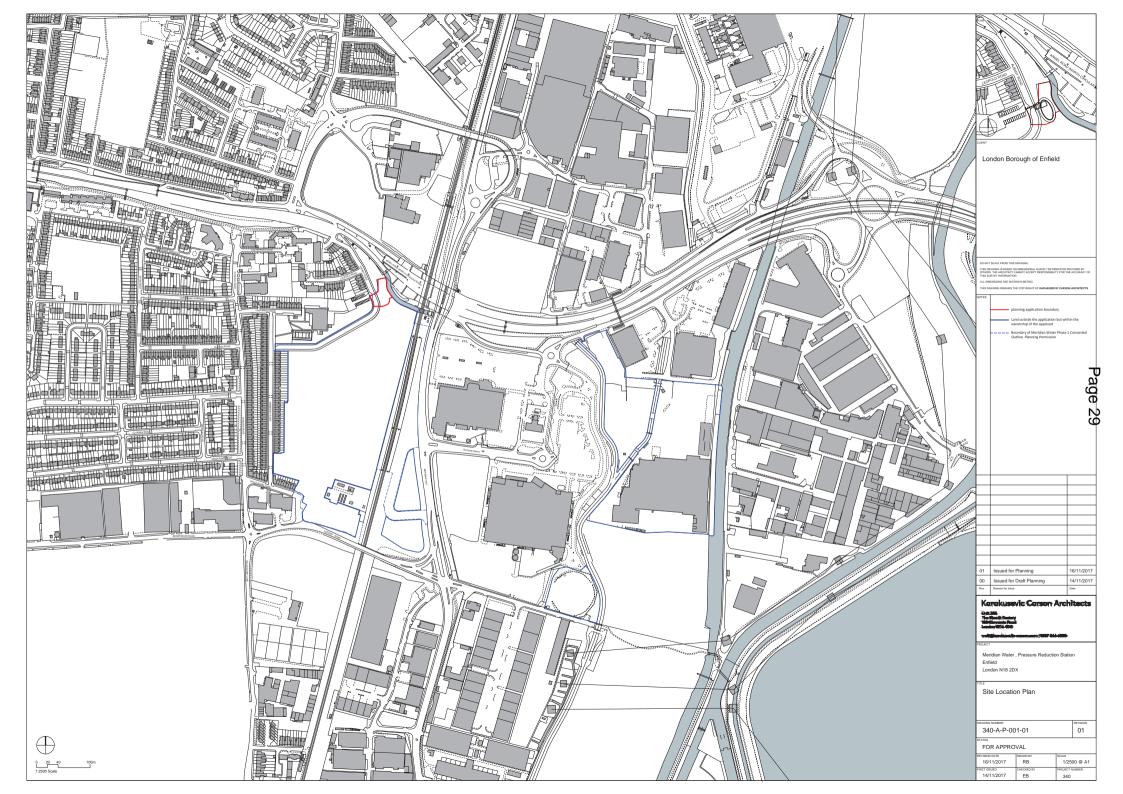
- 7.1 The application site is located within Phase 1 of the Meridian Water redevelopment. Although there would be a reduction in size of the Pymmes Brook buffer zone and a reduction in size of open space, the application site is the optimum site to relocate the PRS. The relocation of the PRS from the south of the phase 1 Meridian Water site to the north is important to the delivery of phase 1 and the wider Meridian Water site. The relocation of the PRS will assist with Meridian Water phase 1 site being developed in a more comprehensive way and in particular facilitate the construction of the main access into the site from Leeside Road. The relocation of the PRS would also provide an opportunity to introduce a more effective use of the land to the south and develop the site in the future as part of the wider Meridian Water masterplan.
- 7.2 The proposal has been appropriately designed to make a positive contribution to the surrounding area both now and in the future. There is still some uncertainty around land acquisition and highway design and therefore the landscape proposals and maintenance access arrangements for the application site cannot be fully developed. To allow the PRS to be delivered independently of phase 1 of Meridian Water and to ensure that the landscaping and public realm on the site is appropriately integrated with the wider phase, an interim solution for the landscape and maintenance access has been produced and the final landscape design and Albany Road access arrangements will be agreed through reserved matters/ discharge of condition applications through the outline planning permission. With the attachment of appropriate conditions the proposal would not undermine the future strategies of the main site of phase 1 of the Meridian Water site.

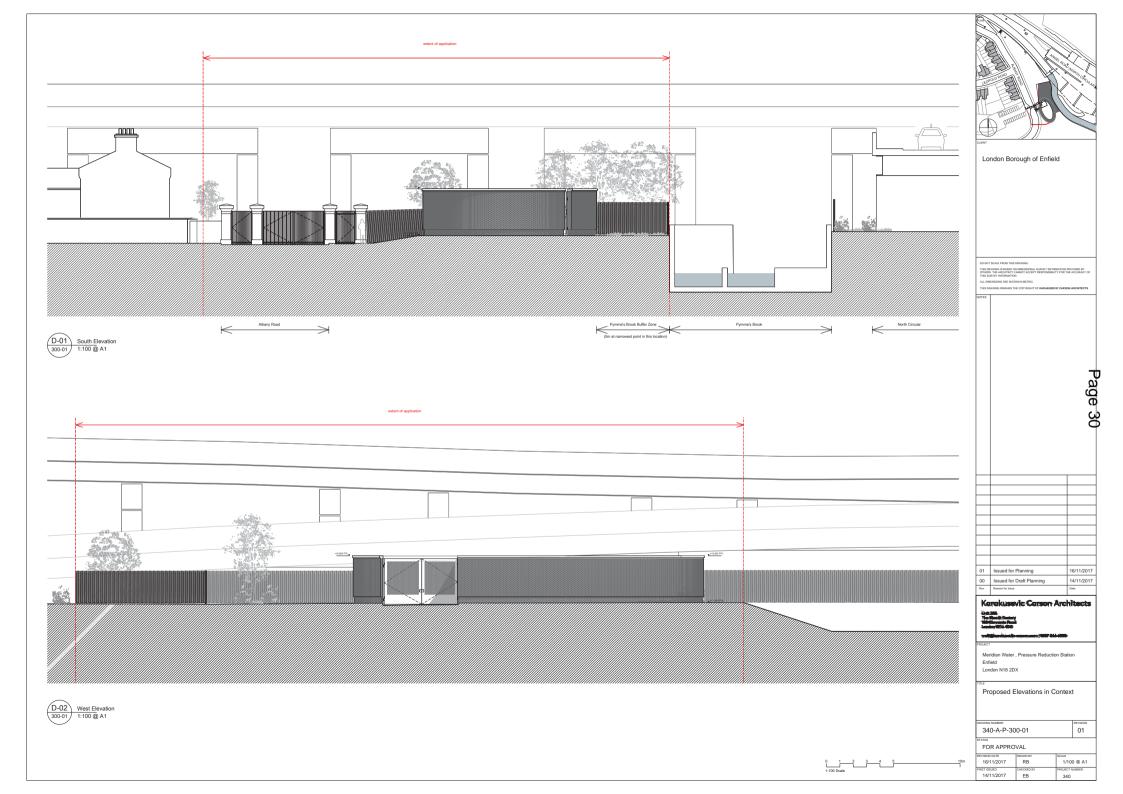
#### 8.0 Recommendation

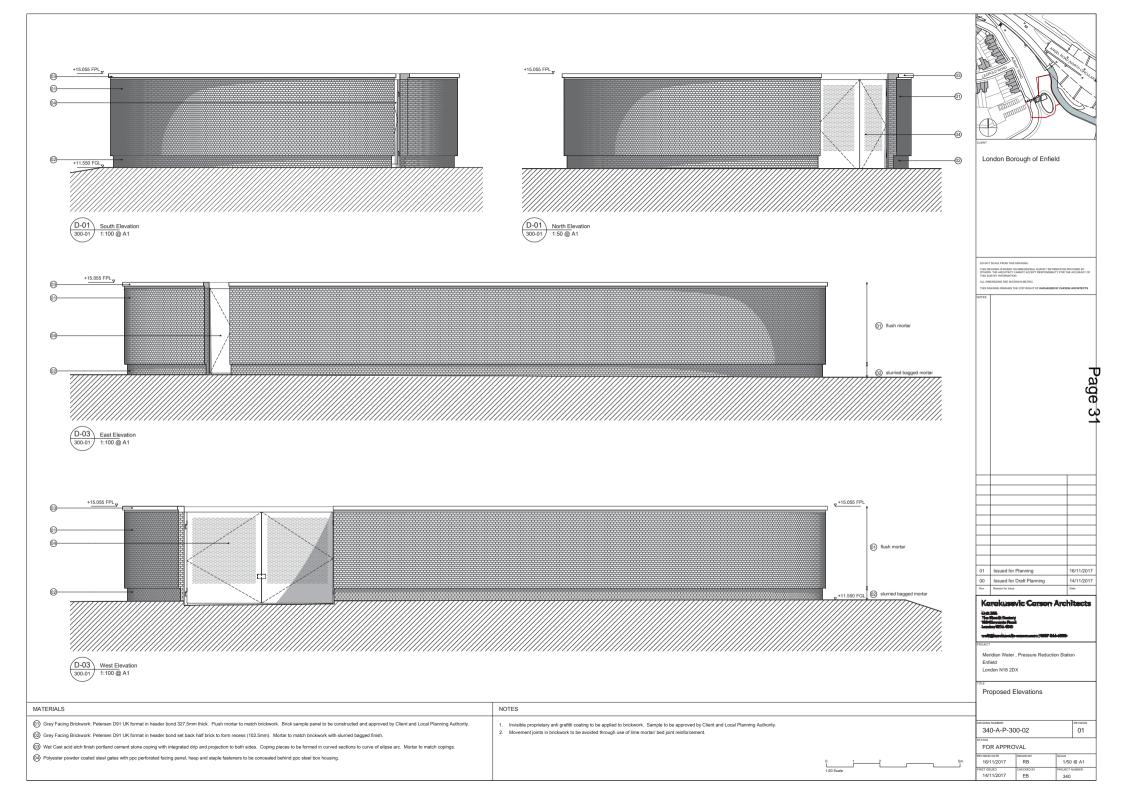
That, PLANNING PERMISSION BE GRANTED in accordance with Regulation 3 and 4 of the Town and Country Planning General regulations 1992 subject to conditions.

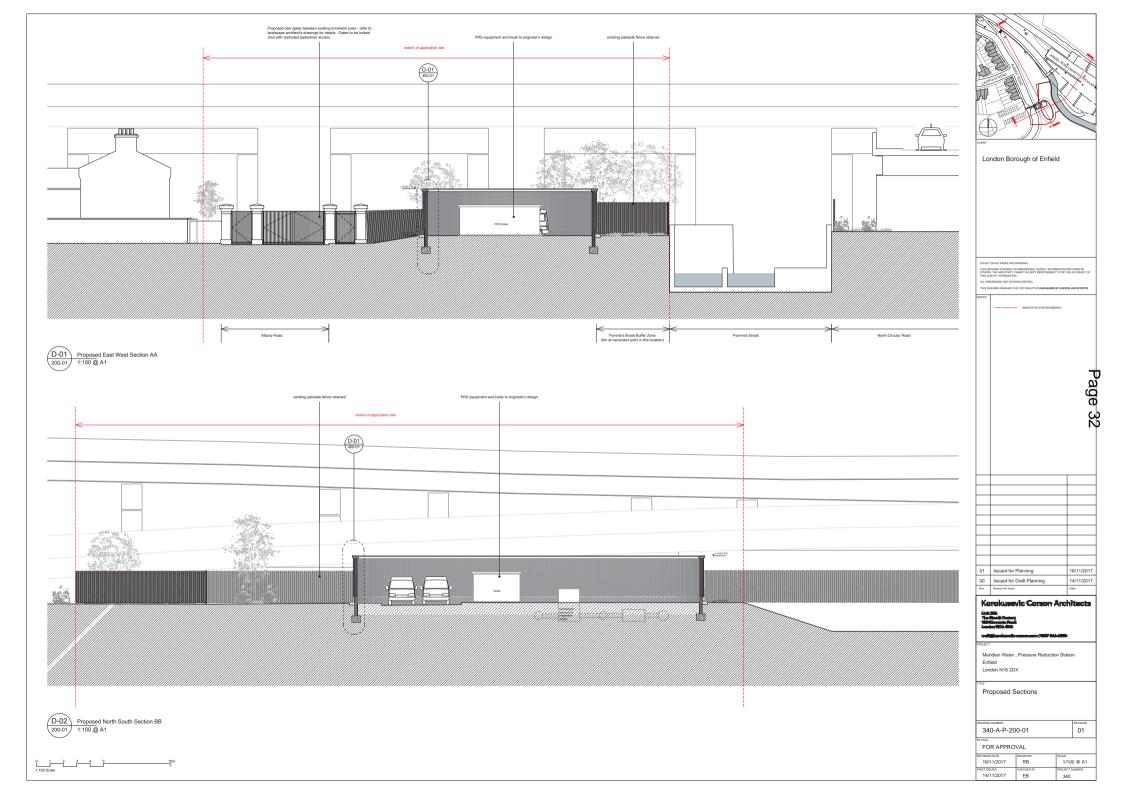
- 1. Time limit
- 2. Plans
- 3. No demolition, construction or maintenance activities
- 4. Construction Environmental Management Plan and Code of Construction Practice
- 5. Construction and Logistics Plan, including a Construction Waste Management Plan
- 6. Contamination risk assessment and remediation strategy
- 7. Verification report contamination
- 8. Unidentified contamination
- 9. Surface water, infiltration and drainage management plan
- 10. Verification Report drainage
- 11. Samples of all external finishing materials
- 12. Sample of anti-graffiti coating
- 13. Details of any signage to be provided on external façade, including details of size, type, materials and colour palette, and fixings
- 14. Archaeology Written scheme of investigation (WSI)
- 15. External lighting
- 16. Noise report
- 17. Plan for management and maintenance of landscaped areas
- 18. Bat roost and badger checks
- 19. Shrub removal
- 20. Eradication strategy for invasive species
- 21. CCTV provision details
- 22. PD rights removal no external telecommunications equipment or infrastructure shall be erected
- 23. Vehicles shall not access the site during the Meridian Angel Primary School pick up/ drop off times.
- 24. Vehicular use of the access gates limited to emergency vehicles and those servicing the PRS
- 25. Any gates onto the public highway must open inwards and any vehicles should, as far as possible, not obstruct users of the public highway.
- 26. Environment Agency condition/s
- 27. Future changes to Albany Road access, enclosure and landscaping
- 28. Temporary enclosure and landscape details

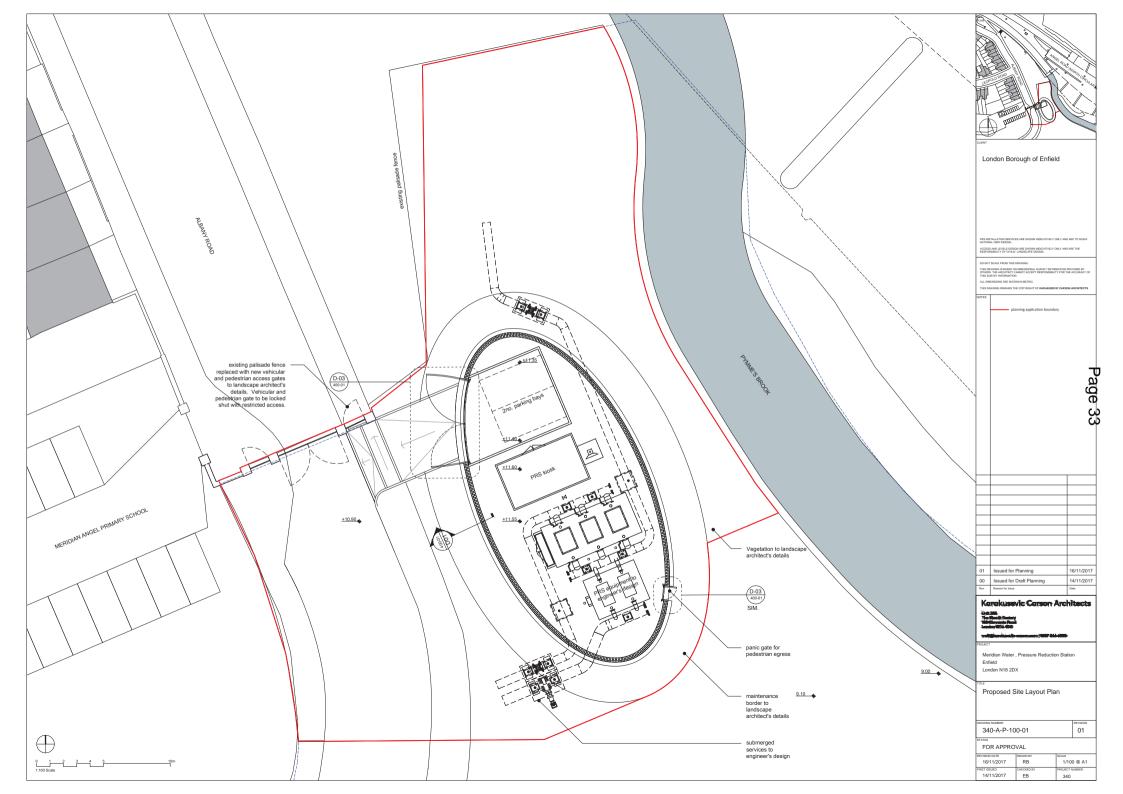












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LONDON BOROUGH OF ENFIELD				
PLANNING COMMITTEE Date: 23 <sup>rd</sup> January 2018				iary 2018
<b>Report of</b> Assistant Director, Regeneration & Planning	<b>Contact Office</b> Andy Higham Sharon Davidso Ms Marina Lai Tel No: 0208 3	on	4	Ward: Edmonton Green
Application Number: 17/02695/RE4		Category: LBE - Development by LA		
LOCATION: Leicester House, 17 C	Cavendish Close,	Londo	n, N18 2LP	
<b>PROPOSAL:</b> Change of use of exspace.	kisting store and v	walkwa	y to 1 x studio flat wi	th private amenity
Mr Paul HernmantMEnfield Council (Major Works Team)P36-44 South MallQ		Agent Name & Address: Mr Luca Speroni Philip Pank Partnership Quanturn House 113 Euston Street		
<b>RECOMMENDATION:</b> That planning	ng permission be	GRAN	ITED subject to cond	litions.
Notes to members: The proposal	is council-owned	develo	pment.	



# 1. Site and Surroundings

- 1.1. Leicester House is a 1960s eight storey, residential building comprising 40 tenanted and leaseholder owned properties. The block is located in the south east of the Borough of Enfield and situated in close proximity to Angel Road railway station. The site is accessed from Ellanby Crescent via Craig Park Road and Cavendish Road.
- 1.2. Leicester House underwent a major conversion project in the 1990s whereby the existing multi-story carpark, situated between the subject building and Hereford House (a similar block, located to the north) was demolished in order to provide additional accommodation on the ground and first floor levels. The block now comprises a mixture of flats (ground and first floor properties), maisonettes (upper floor properties), service and storage areas, arranged around one fire escape stair core/lift shaft, situated in the centre of the building.
- 1.3. The part of the building subject of this application is a caretakers store and side walkway to another communal access way. It forms an area of approximately 38 to 39 sqm relatively central to the building on the ground floor level.
- 1.4. The site is neither located in a Conservation Area and nor is Listed. The surrounding area is predominantly residential made up of residential blocks of flats such and two storey terraced house in the outlying streets.

## 2. Proposal

- 2.1. The application proposes the conversion of the existing caretaker's storeroom and side access walkway into a studio flat 38sqm in area. It also proposes to install new doors and windows on the elevation and also proposes to enclose the entrance way at the front as a private amenity space in a similar manner to the adjacent flats on either side.
- 2.2. The existing communal stairs and lobby area to the subject building would remain.

## 3. Relevant Planning History

3.1. 15/03917/RE4: Planning permission was approved for external improvement works to replace existing roof covering, waterproofing system to all walkways and balconies, replacement rainwater goods, balcony balustrading/vertical screens/doors, fire escape, windows, lighting, extractor fans, provision of bird netting/spikes, repairs to paving, fencing, masonry, concrete surfaces, fire escape, balustrading, redecoration of all painted surfaces.

## 4. Consultation

**Public Consultations** 

4.1. 40 x neighbouring properties were notified of the proposed development by letters. No comments were received.

Internal

4.2. <u>Traffic and Transportation</u> - The Team raised no objections to the proposal, subject to conditions.

External

4.3. None

## 5. Relevant Policy

5.1. Core Strategy

CP2: Housing Supply and Locations for New Homes CP4: Housing quality CP22: Delivering sustainable waste management CP24: The road network CP25: Pedestrians and cyclists CP30:Maintaining and improving the quality of the built and open environment CP46: Infrastructure contributions

## 5.2. Development Management Document

DMD6: Residential Character DMD8: General Standards for New Residential Development DMD9: Amenity Space DMD10: Distancing DMD37: Achieving High Quality and Design-Led Development DMD 38: Design process DMD 45: Parking Standards and Layout DMD47: New Roads, Access and Servicing DMD49: Sustainable Design and Construction Statements DMD51: Energy Efficiency Standards

## 5.3. London Plan (2015)

Policy 3.3: Increasing housing supply Policy 5.3: Sustainable design and construction Policy 6.9: Cycling Policy 6.13: Parking Policy 7.3: Designing out crime Policy 7.4: Local character Policy 7.5: Public realm Policy 7.6: Architecture Policy 8.2: Planning obligations

## 5.4. Other Relevant Policy

National Planning Policy Framework

## 5.5. Other Material Considerations

The Mayors Housing SPG (2012) Enfield Strategic Housing Market Assessment (2010) Nationally Described Space Standards (NDSS) Waste and Recycling Storage Planning Guidance

# 6. Main Issues to be Considered

- 6.1. The main issues to be considered in respect of this application are:
  - Principle of the development in terms of land use;
  - Impact on neighbouring amenity;
  - Quality of accommodation, including amenity provisions; and
  - Traffic, parking and servicing issues.

## 7. Analysis

# Principle of Development

- 6.2. The application building is located within a residential block in a wholly residential area. The proposed residential use at this location is considered appropriate to its local context and would provide for additional residential accommodation in the borough. Therefore the proposed development is considered acceptable in principle.
- 6.3. With regards to the resulting loss of the existing storeroom and walkway, the existing storage room has been examined on site and appeared relatively dilapidated. The submitted Design and Access Statement states that the store has been much underused and has been subject to a lot of vandalism and damage recently. All this information has been taken into account and it is considered on balance the use of the storeroom and side walkway would be more suitable and in keeping with the ground floor level of the building as a residential flat. The use incorporating the proposed design changes would improve the appearance of this section of the building and overall it is considered it should be supported.

## Design and impact on the character of the immediate surrounding

- 6.4. Policy DMD 37 aims to ensure that high standards of design are taken into consideration, with reference to the boundary treatment of the property, the use of materials and the proposals siting, layout, alignment, spacing, height, bulk and massing. In addition Policy 7.4 of the London Plan and DMD 6 states that developments should have regard to the form, function and structure of an area and the scale mass and orientation of surrounding buildings.
- 6.5. There are existing residential flats at ground floor level on either side with windows and doorways and small rear amenity areas all of which consist of a standard pattern to the elevation at ground floor level. The proposed conversion would match the fenestrations of the other ground floor flats on either side. In addition the enclosure of the part of the access way to the existing store will also improve the appearance and create a consistent boundary treatment across the full length of Leicester House at ground level.
- 6.6. Given the design, scale and massing, the proposed development is considered appropriate to its local context and would enhance the local character.

## Impact on Neighbouring Amenity

- 6.7. DMD 6 and 8 seek to ensure that residential developments do not prejudice the amenities enjoyed by the occupiers of neighbouring residential properties in terms of privacy, overlooking and general sense of encroachment. In addition Policies 7.4 of the London Plan and CP30 of the Local Plan seek to ensure that new developments have appropriate regard to their surroundings, and that they improve the environment in terms of visual and residential amenity.
- 6.8. The proposal would only involve the minor external changes to the existing ground floor doors and windows of the subject building, none of which would have an impact on neighbouring residential amenity.
- 6.9. In addition it is considered that the use of the storeroom as a residential flat would be more in keeping to surrounding neighbours especially as the storeroom has been subject to vandalism and anti-social behaviour.
- 6.10. In light with the above assessment, the proposed development would have an acceptable impact on the neighbouring amenity to the adjoining occupiers.

## Quality of Accommodation

- 6.11. Policy DMD 8 of the Development Management Document, Policy 3.5 of the London Plan and the London Housing SPG seek to ensure that new residential development is of a high quality standard internally, externally and in relation to their context. Policy 3.5 of London Plan specifically sets out the standards on minimum gross internal area (GIA) for different dwelling types.
- 6.12. DMD 9 (Amenity Space) requires that new residential development must provide quality private amenity space that is not significantly overlooked by surrounding development and meets or exceeds the minimum standards of 50sqm for dwelling house.
- 6.13. The application is proposed as a studio flat with a gross internal area of 38.2sqm. The layout would consist of a separate kitchen, store area and shower-room with an open plan living sleeping area. The National and London Plan standards specify that this should be a minimum of 37sqm. Therefore the proposal is compliant internally.
- 6.14. To the front of the flat a private amenity area approximately 12sqm will be provided with a low level boundary wall and railing 1m high with a pedestrian access way. This will provide for a sufficient level of amenity space for this small studio flat and also double up as defensible space from the public highway and parking area adjacent. It is noted that the amenity area with the low level boundary area would not be particularly private. However this will match in with the other private amenity areas adjacent on this section of the building and on balance for a 1 person studio flat the amenity space is still very usable and functional.
- 6.15. In conclusion, the proposal provides an acceptable standard of accommodation for a 1 person studio flat having regard to National and London Plan standards.

## Transport Impact

- 6.16. The council's traffic and transportation department raised no objections to the proposal, as the proposal for 1 studio unit for 1 person is unlikely to create a significant level of trips to the site or have a noticeable impact onto car parking stress in the area.
- 6.17. Future occupants could avail of the communal refuse storage for the apartment block. Transport officers have requested cycle parking for 2 cycles be provided. It is considered that this could be secured via condition.
- 6.18. Subject to this condition for details of cycle parking, there are no objections to the application from a highways perspective.

## **Planning Obligation**

## S106 Contributions

6.19. The proposal would result in the creation of less than 10 units, or 1000sqm, and therefore the S106 contributions are not required.

CIL

6.20. The proposal would result in the creation of additional units, and therefore would be Mayor CIL and Enfield CIL liable.

# 7. Conclusion

7.1. It is concluded that the proposed redevelopment of the site would not adversely impact on the character and setting of the surrounding, and would provide a good quality of accommodation to future occupiers while providing additional housing to the borough. The scheme would not create an adverse impact to the neighbouring amenity or unacceptable impact to highway function and safety.

## 8. Recommendation

8.1. As such, approval is recommended, subject to conditions.

## **Recommended Conditions:**

## **Time Limited Permission**

1. The development to which this permission relates must be begun not later than the expiration of three years beginning with the date of the decision notice.

Reason: To comply with the provisions of S.51 of the Planning & Compulsory Purchase Act 2004.

## **Approved Plans**

2. The development hereby permitted shall be carried out in accordance with the following approved plans:

Site Location Plan; 16-123-LHPA/02; 16-123-LHPA/03 Rev. A; 16-123-LHPA/04; 16-LHPA/05;

Reason: For the avoidance of doubt and in the interests of proper planning.

## Materials to Match

3. The external finishing materials shall match those used in the construction of the existing building and boundary treatments.

Reason: To ensure a satisfactory external appearance.

## No Additional Fenestration

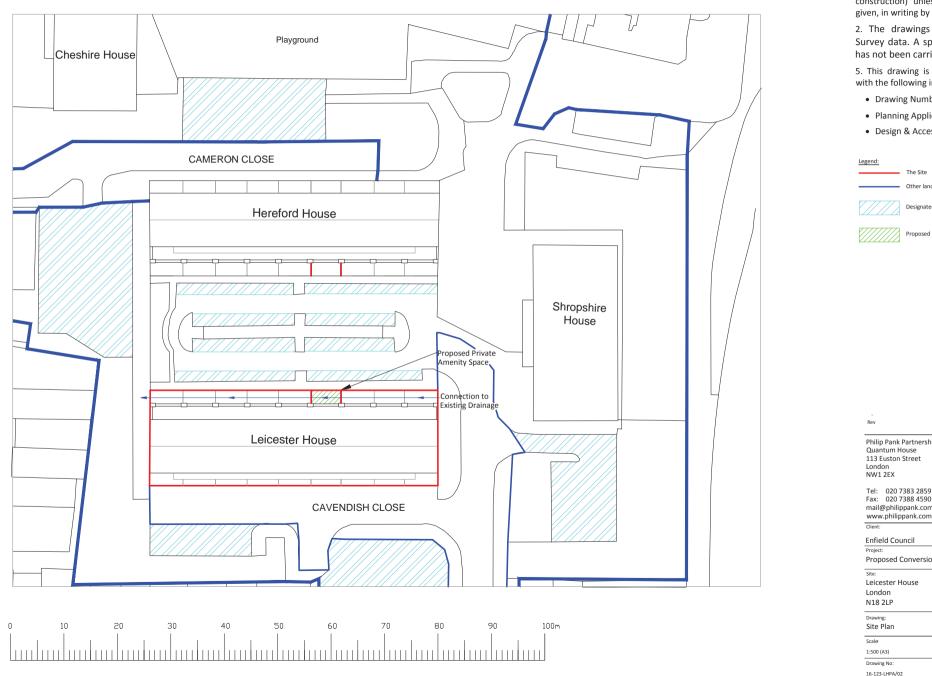
4. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995, or any amending Order, no external windows or doors other than those indicated on the approved drawings shall be installed in the development hereby approved without the approval in writing of the Local Planning Authority.

Reason: To safeguard the privacy of the occupiers of adjoining properties.

## **Cycle Parking**

5. The development hereby permitted shall not be occupied until details of the siting, number and design of 1 X long stay and 1 X short stay cycle parking spaces have been submitted to and approved in writing by the Local Planning Authority. The approved details shall thereafter be installed and permanently retained for cycle parking.

Reason: To meet London Plan requirements.



## Notes:

1. The level of information in this drawing is in relation to AN APPLICATION FOR PLANNING CONSENT. The information shown should not be used for any other purpose (such as Building Regulations Approval, Tendering or construction) unless permission is expressly given, in writing by the client.

2. The drawings is based on Ordnance Survey data. A specialist measured survey has not been carried out on site.

5. This drawing is to be read in conjunction with the following information:

- Drawing Numbers 16-123-LHPA/01 to 04
- Planning Application
- Design & Access Statement

Other land owned b	by the Applicant
Designated Parking	Spaces Within The Applicant's Curtilage
Proposed Private Ar	menity Space
Ķ	- ayo + J
Rev	Date
Philip Pank Partnership Quantum House 113 Euston Street London NW1 2EX	
Tel: 020 7383 2859 Fax: 020 7388 4590 mail@philippank.com www.philippank.com Client:	
Enfield Council Project: Proposed Conversion of Exi	sting Caretaker's Store
<sup>Site:</sup> Leicester House London N18 2LP	
Drawing: Site Plan	
Scale 1:500 (A3)	Date: 07/06/2017
Drawing No:	Drawn:

LS

Existing



### Notes:

1. The level of information in this drawing is in relation to <u>AN APPLICATION FOR PLANNING</u> <u>CONSENT.</u> The information shown should not be used for any other purpose (such as Building Regulations Approval, Tendering or construction) unless permission is expressly given, in writing by the client.

2. The drawings are based on existing plans and elevations, a specialist measured survey has not been carried on site. All dimensions should therefore be checked prior to commencement of works. Do not scale from these drawings.

3. The Contractor is to verify, set out, check and co-ordinate all dimensions on site prior to commencement and during the course of the works. Any discrepancies, either between written dimensions and site dimensions or between this drawing and other drawings or supporting information etc. should be brought to the immediate attention of Philip Pank Partnership.

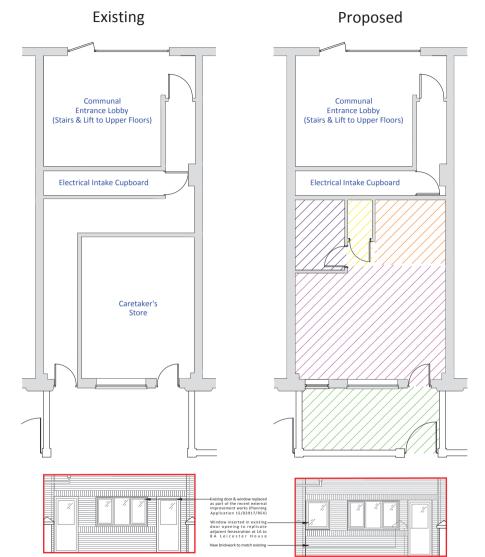
4. The proposal comprises a single aspect dwelling, thus other external elevations are not affected.

5. All works to be carried out in strict accordance with current Building Regulations, D Local Authority requirements, codes of practice, relevant British & European Standards & O manufacturers' recommendations.

6. This drawing is to be read in conjunction  $\mathbf{F}$  with the following information:

- Drawing Numbers 16-123-LHPA/01 to 04
- Planning Application
- Design & Access Statement

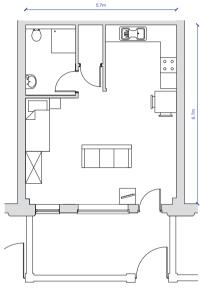
- Rev	Date
Philip Pank Partnership Quantum House 113 Euston Street London NW1 2EX	
Tel: 020 7383 2859 Fax: 020 7388 4590 mail@philippank.com www.philippank.com	
Client:	
Enfield Council	
Project:	
Proposed Conversion of Ex	sting Caretaker's Store
Site:	
Leicester House	
Cameron Close	
London	
N18 2LP	
Drawing:	
Existing & Proposed North I	levation
Scale	Date:
1:200 (A3)	14/06/2017
Drawing No:	Drawn:
16-123-LHPA/04	LS



Garden wall & gate omitted for clarity

# Areas Bathroom 4.95m Kitchen 6.61m Living Area 23.66m Circulation/Storage 2.29m Private Amenity Space 12.03m GIA 38.19m

## Suggested Furniture Layout



## Notes:

1. The level of information in this drawing is in relation to <u>AN APPLICATION FOR PLANNING</u> <u>CONSENT.</u> The information shown should not be used for any other purpose (such as Building Regulations Approval, Tendering or construction) unless permission is expressly given, in writing by the client.

2. The drawings are based on existing plans and elevations, a specialist measured survey has not been carried on site. All dimensions should therefore be checked prior to commencement of works. Do not scale from these drawings.

3. The Contractor is to verify, set out, check and co-ordinate all dimensions on site prior to commencement and during the course of the works. Any discrepancies, either between written dimensions and site dimensions or between this drawing and other drawings or supporting information etc. should be brought to the immediate attention of Philip Pank Partnership.

4. All works to be carried out in strict accordance with current Building Regulations, Local Authority requirements, codes of practice, relevant British & European Standards & manufacturers' recommendations.

5. This drawing is to be read in conjunction with the following information:

Page

5

- Drawing Numbers 16-123-LHPA/01 to 04
- Planning Application
- Design & Access Statement





## Notes:

1. The level of information in this drawing is in relation to <u>AN APPLICATION FOR PLANNING</u> <u>CONSENT.</u> The information shown should not be used for any other purpose (such as Building Regulations Approval, Tendering or construction) unless permission is expressly given, in writing by the client.

2. The drawings is based on Ordnance Survey data. A specialist measured survey has not been carried out on site.

5. This drawing is to be read in conjunction with the following information:

- Drawing Numbers 16-123-LHPA/01 to 04
- Planning Application
- Design & Access Statement

## Legend: The Site

Other land owned by the Applicant

'n	
- Rev	Date
Philip Pank Partnership Quantum House 113 Euston Street London NW1 2EX	
Tel: 020 7383 2859 Fax: 020 7388 4590 mail@philippank.com www.philippank.com	
Client:	
Enfield Council Project:	
Proposed Conversion of Ex	isting Caretaker's Store
<sup>Site:</sup> Leicester House London N18 2LP	
Drawing: Location Plan	
Scale	Date:
1:1250 (A3)	14/06/2017
Drawing No:	Drawn:
16-123-LHPA/01	LS

Proposed



Example of Garden Wall to be Replicated

#### Notes:

1. The level of information in this drawing is in relation to <u>AN APPLICATION FOR PLANNING</u> <u>CONSENT.</u> The information shown should not be used for any other purpose (such as Building Regulations Approval, Tendering or construction) unless permission is expressly given, in writing by the client.

2. The drawings are based on existing plans and elevations, a specialist measured survey has not been carried on site. All dimensions should therefore be checked prior to commencement of works. Do not scale from these drawings.

3. The Contractor is to verify, set out, check and co-ordinate all dimensions on site prior to commencement and during the course of the works. Any discrepancies, either between written dimensions and site dimensions or between this drawing and other drawings or supporting information etc. should be brought to the immediate attention of Philip Pank Partnership.

4. The proposal comprises a single aspect dwelling, thus other external elevations are not affected.

5. All works to be carried out in strict accordance with current Building Regulations, Local Authority requirements, codes of practice, relevant British & European Standards & manufacturers' recommendations.

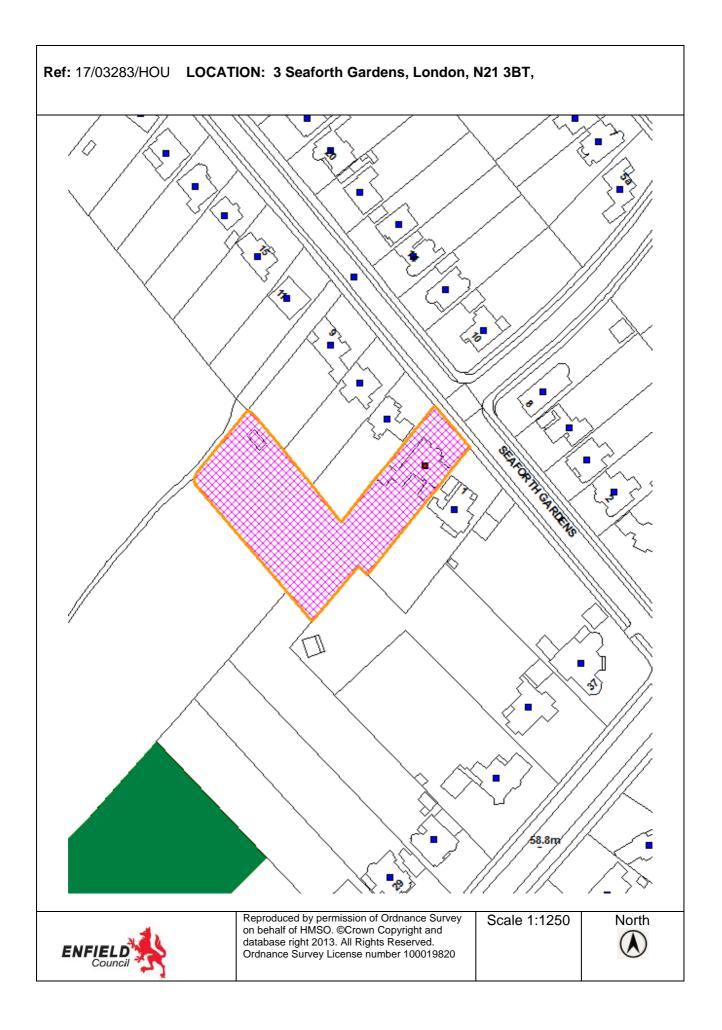
6. This drawing is to be read in conjunction  $\checkmark$  with the following information:

- Drawing Numbers 16-123-LHPA/01 to 04
- Planning Application
- Design & Access Statement

Rev	Date
Philip Pank Partnership Quantum House 113 Euston Street London NW1 2EX	
Tel: 020 7383 2859 Fax: 020 7388 4590 mail@philippank.com www.philippank.com	
Client:	
Enfield Council	
Enfield Council Project: Proposed Conversion of	Existing Caretaker's Store
Project:	Existing Caretaker's Store
Project: Proposed Conversion of	Existing Caretaker's Store
Project: Proposed Conversion of Site:	Existing Caretaker's Store
Project: Proposed Conversion of Site: Leicester House	Existing Caretaker's Store
Project: Proposed Conversion of Site: Leicester House Cameron Close	Existing Caretaker's Store
Project: Proposed Conversion of Site: Leicester House Cameron Close London	Existing Caretaker's Store
Project: Proposed Conversion of Site: Leicester House Cameron Close London N18 2LP	
Project: Proposed Conversion of Site: Leicester House Cameron Close London N18 2LP Drawing:	
Project: Proposed Conversion of Site: Leicester House Cameron Close London N18 2LP Drawing: Additional North Elevatic	in Drawing
Project: Proposed Conversion of Site: Leicester House Cameron Close London N18 2LP Drawing: Additional North Elevatic Scale	In Drawing

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PLANNING COMMITTEE		<b>Date :</b> 23 <sup>rd</sup>	Date : 23 <sup>rd</sup> January 2018	
<b>Report of</b> Assistant Director, Regeneration & Planning	<b>Contact Officer:</b> Andy Higham Sharon Davidson Ms Marina Lai Tel No: 0208 379 494	14	Ward: Winchmore Hill	
Ref: 17/03283/HOU		Category: Hou	iseholder	
PROPOSAL: Erection of p with rear dormer and roof lig Applicant Name & Addres Mrs Georgiou C/O	ghts, providing additional ss: Dav 4 Ba Lon	accommodation Int Name & Addre id Barnard arber Close		
RECOMMENDATION: The	at planning permission be	GRANTED subje	ct to conditions.	



## 1. Site and Surroundings

- 1.1. Situated on the western side of Seaforth Gardens, the application site consists of a two-storey, detached dwelling house that is a short distance from the junction with Broad Walk and opposite the junction with Denleigh Gardens. To the rear is a deep garden that stretches further into a larger rectangular area at the back of the site to the rear of other properties on Seaforth Gardens and Broad Walk.
- 1.2. The house benefits from an original two-storey rear outrigger that also projects a two-storey extension to the side. This side extension contains an internal garage on the ground floor, well set back from the main house. The house also has extensions set on the back of its detached garage to the side.
- 1.3. This surrounding area is atypically sub-urban made of large expansive residential houses of varying architectural appearance set on large plots. The application site is neither located in a conservation area and nor relates to any listed buildings.

# 2. Proposal

- 2.1. Planning consent is sought for the erection of a part single part two-storey rear extension and a rear dormer, providing additional accommodation.
- 2.2. The first floor element of the proposed rear extension would be in a 'L' shape, in line with the existing rear elevation of the house, incorporating with a flat roof of 3.4m in height. The first floor element would be recessed from the rear elevation of the rear outrigger by 1m, constructed of a pitched roof.
- 2.3. Located over the rear outrigger, the proposed rear dormer would sit down from the existing roof ridgeline by approximately 600mm, and provide an adequate inset from both sides of the roof slope.
- 2.4. The description of the proposal as cited in the submitted application form doesn't include the removal of the existing detached garage and its connected side extensions. However, the submitted drawing shows that the garage and its associated extensions would be demolished.
- 2.5. It is acknowledged that the application site is not listed and doesn't fall within a Conservation Area. Therefore, the demolition as demonstrated on the drawings does not require planning permission.

## 3. Relevant Planning History

3.1. None of relevance

## Planning History of Adjoining Sites

1 Seaforth Gardens

3.2. TP/11/1137: Planning consent was granted for part single, part 2-storey rear / side extension, with dormer window to first floor at rear, basement at lower ground level with external staircase at rear and a rear dormer to main roof (involving enlarged basement)' (PART-RETROSPETIVE).

## 7 Seaforth Gardens

3.3. TP/10/0702: Planning consent was granted for demolition of existing conservatory and erection of part single, part 2-storey rear, sides and front extensions including new porch with canopy, 2 x terraces with balustrades to first floor with rear gable, 1 x rear, 2 x front and 3 x side inverted dormers to roof extension to provide loft conversion, extended hardstanding to front.

## 9 Seaforth Gardens

3.4. TP/09/1329: Planning consent was granted for demolition of side extension and workshop and erection of part single, part 2 storey side extension to east, part 2 storey side extension to west, 2 storey rear extension and rear conservatory together with enlargement of front porch.

## 4. Consultation

Public Consultations

- 4.1. 10 x neighbouring properties were notified of the proposed development by letters.
- 4.2. A re-consultation was carried out between 14/09/2017 to 05/10/2017, owing to the amendments made to remove the concerned first floor balcony.
- 4.3. A number of objections were received, concerned that the development would:
  - Out of keeping with character of area;
  - Over development of the site;
  - Loss character of the Garage;
  - Disrupt house symmetry;
  - Loss of privacy and outlook;
  - Unduly impact on lights to neighbouring properties.
  - Overlooking;
  - General dislike of proposal;
  - Noise nuisance;
  - Inaccurate information given on application; and
  - Facilitate a potential back land development on the rear.
- 4.4. Majorities of the objections received relate to the concerns that the demolition of the existing garage to the side would facilitate a potential back land development on the rear garden of the site.
- 4.5. Objectors have been advised that the current proposal is a householder application for extensions and the Local Planning Authority can only consider the

application as submitted on its own planning merits and cannot be determined on the basis that it may or may not lead to a further application in the future.

Internal

4.6. Winchmore Hill Residents Association:

The application for the alterations and extensions of 3 Seaforth Gardens appear to us to be only the first phase of a larger development. The applicant's submission illustrates a considerably enlarged house, avoiding the line of the site containing the existing garage, which would have been the simplest area to have extended. The proposed extension as shown, together with its large roof balcony, will certainly provide intrusive views into the gardens of the neighbouring houses. The applicants Site plan shows a considerable area of undeveloped backland within the natural boundaries of the park and the historic woodland. It would appear to the Association that the developer of 3 Seaforth Gardens has intentions to further develop this backland area with vehicular access through the existing garage area of 3 Seaforth.

The Association understands that the Borough of Enfield has a policy of refusing backland development and has Covenants prohibiting development in properties along Broadwalk and Seaforth Gardens. These proposals would break these Agreements and create a precedent which would enable further works of a similar nature difficult to refuse. We consider this application if approved has clear limitations on provisions of any access to the rear. Yours sincerely

4.7. Southgate District Civil Trust:

This application is for extensions and alterations to one property, and we know that each application is dealt with as it is proposed and not with regard to any future development that may be applied for. However, because of our interest in what is happening there, we have looked at the somewhat sketchy drawings on the web site and have visited the site.

Looking at the front elevation there is a garage on the left of the property and an all glass floor length window of a room on the right hand side. All the proposed alterations are at the rear, but we are of the opinion that if this application is granted there will be overlooking from the proposed balcony and possibly the roof lights from the 1st floor and the loft, with regard to adjacent properties. This of course will no doubt be dealt with by the owners of Nos. 3 and 5.

There is no mention of demolition of the Garage, and this is what concerns us. The only way to do any works at the rear is through the single Garage, there being no access on the other side of the house. Although some works would be possible from inside the property it is felt that access to the rear might be necessary. At this stage there is no demolition applied for, so it must remain for this application, and not conveniently be removed during the works carried out. If the developer's comment to the residents is correct about a future development on the rear then the only access would be by the demolition of the garage and the creation of a road to that development. This would of course be of concern to us, the neighbouring properties, and to anyone in that area of Winchmore Hill.

Statutory Consultees:

4.8. None

## 5. Relevant Policy

5.1. Core Strategy

CP30: Maintaining and improving the quality of the built and open environment

5.2. Development Management Document

DMD6: Residential Character DMD11: Rear Elevations DMD14: Roof Extensions DMD37: Achieving High Quality and Design-Led Development

## 5.3. London Plan (2015)

Policy 7.4: Local character Policy 7.6: Architecture

## 5.4. Other Relevant Policy

National Planning Policy Framework

## 6. Main Issues to be Considered

- 6.1. The main issues to be considered in respect of this application are:
  - Impact on neighbouring amenity; and
  - Design quality and impact on the character of the surrounding.
- 6.2. Objectors raised concerns that the demolition of the existing garage to the side would facilitate a potential back land development on the rear garden of the site.
- 6.3. Objectors have been advised that the current proposal is a householder application for extensions and must be considered and assessed as such. The demolition of the garage in itself would not require planning permission and whilst this could have implications for the applicant's potential ambitions for the site, the Local Planning Authority can only consider the application as submitted on its own planning merits and cannot determine on the basis that it may or may not lead to a further application in the future.

# 7. Analysis

## Impact on Neighbouring Amenity

Rear Extension

- 7.1. DMD11 (Rear Extension) of the council's adopted DMD states that proposed extensions will only be permitted if:
  - a) There is no impact on the amenities of the original building and its neighbouring properties;
  - b) Adequate amenity space and the maintenance of satisfactory access to existing garages or garage/parking space is retained; and
  - c) There is no adverse visual impact.
- 7.2. Criteria 2 of DMD 11 entails that single storey rear extensions must not exceed 4m in depth beyond the original rear wall in the case of detached properties and 4m in height when measured from the ridge and 3m at the eaves, or not exceed a line taken at a 45-degrees from the mid-point of the nearest original ground floor window to any of the adjacent properties, and should secure a common alignment of rear extension.
- 7.3. Criteria 3 of DMD11 requires that first floor rear extensions must not exceed a line taken a 30-degree from the mid-point of the nearest original first floor window to any of the adjacent properties and where appropriate, secure a common alignment of rear extensions.
- 7.4. The vicinity of the application site is predominately residential in nature, as such from the perspective of neighbouring amenity; the proposal is assessed against the closest residential properties.
- 7.5. The application site has an existing two-storey rear addition that also projects a two-storey extension to the side. The proposed rear extension would project neither beyond, nor be higher than this two-storey side extension of the site, therefore, the neighbouring property which could be most affected by the proposal would be No.1 Seaforth Gardens only.
- 7.6. As confirmed at Case Officer's site visit, No.1 Seaforth Gardens has an existing flat-roofed, single storey rear extension set on the site boundary with the application site that features high parapet wall.



(No.1 Seaforth Gardens' rear extension)

- 7.7. The application site benefits from a substantial rear garden of approximately 2,400sqm. The proposal, given its footprint of less than 40sqm, would still retain an adequate amenity space that meets the needs of existing occupiers of the site. Furthermore, the proposal would not alter the existing vehicle access to the site.
- 7.8. The proposal would secure a common alignment of the existing rear extension on the ground floor and sit back from the existing rear outrigger by 1m on the first floor. Given its scale and massing, the proposed rear extension would be well confined within the existing footprint of the site which is of a scale that would not generate visual impact when viewed from the neighbouring properties. Therefore the proposed rear extension is satisfied with DMD 11 (1).
- 7.9. The ground floor element of the proposed rear extension would extend out from the original rear wall of the site by approximately 3.7m, in line with the neighbouring extension of No.1 on rear, hence complying with DMD 11 (2).

- 7.10. There is a separation of 6m on the first floor between the flank walls of No.1 and the application site. This separation would sufficiently allow the proposal not to breach the 30 degree line drawn from the closest first floor window of No.1. The first floor element of the proposed rear extension is thus in accordance with DMD11 (3).
- 7.11. Objectors raised concerns that the proposed first floor rear extension would result in an unacceptable level of overlooking and loss of light, privacy and outlook to the neighbouring property at No.1 Seaforth Gardens.
- 7.12. No.1 has an existing single storey rear extension (orangery) which forms part of planning consent granted in 2011 (Ref: TP/11/1137) for 'part single, part 2-storey rear / side extension, with dormer window to first floor at rear, basement at lower ground level with external staircase at rear and a rear dormer to main roof (involving enlarged basement)'. In accordance with the approved plan, this structure measures 3.9m in height x 8.75m in depth, incorporating with a roof light in lantern style projecting 4.35m in height.



7.13. The first floor element of the proposed extension would project approximately 5.5m in height to its eaves level, recessed from No.1's orangery by approximately 4.2m. Coupled with a reasonable distance (6m) away from No.1, it would not reduce the amount of sunlight or daylight reaching No.1's Orangery over the existing arrangement.

- 7.14. The proposal would bring the existing 1<sup>st</sup> floor window much forward. However, the parapet wall of No.1's Orangery is so high that the overlooking from the first window of the proposal onto No.1's Orangery would not be significantly increased and the outlook from the upper floor of No.1 would not be impaired.
- 7.15. In light with the above assessment, the proposed rear extension is considered to have a minimal impact on the amenity to the adjoining property at No.1.

Roof Extension

- 7.16. The proposed rear dormer is not anticipated to generate any detrimental form of neighbouring amenity to the occupiers of No.1 Seaforth Gardens in terms of loss of light, a sense of enclosure and an overbearing effect.
- 7.17. Objectors raised concerns that proposed rear dormer would generate an overlooking onto No.1's Orangery.
- 7.18. The proposed dormer window would be positioned on the roof of the rear outrigger of the site, broadly in line with the rear elevation of No.1's Orangery. Given its location, the proposed rear dormer is not considered to generate an unacceptable level of overlooking onto No.1



(the application site on the left and No.1 Seaforth Gardens on the right)

7.19. In summary, the proposal would comply with DMD11 and therefore is considered acceptable in amenity terms.

## Design and impact on the character of the immediate surrounding

Rear extension

- 7.20. DMD11 (Rear Extensions) of the council's adopted DMD requires that extensions to a residential property need to respect the character of the local area, of which bulk/dominance should appear subordination to the original dwelling.
- 7.21. The immediate vicinity of the application site is characterised with substantial residential houses which have been extended with varying scaled extensions in the past. Being part single part two-storey, the massing of the development is considered appropriate to its local context and would not appear visually intrusive to the neighbouring properties. The proposed rear extension would be well confined with the existing footprint of the site, and would be proportionate to the host building.

Roof Extension

- 7.22. DMD 13 (Roof Extensions) of the council's adopted DMD requires that roof extensions to residential properties will only be permitted if all of the following criteria are met.
  - 1) Be of an appropriate size and location within the roof plane and, in the case of roof dormers, inset from the eaves, ridge and edges of the roof (insets should normally be between 500-750mm);
  - 2) Be in keeping with the character of the property, and not dominant when viewed from the surrounding area;
- 7.23. The proposed rear dormer would provide adequate inset from the roof ridgeline and side roof slopes, complying with DMD13. As confirmed at the site visit, the proposed rear dormer, given its scale, massing and design, would be also comparable with the neighbouring rear dormer of No.1.
- 7.24. Objectors raised concerns that the proposed rear dormer would be out of keeping with the character of the surrounding.
- 7.25. The Seaforth Gardens properties are characterised with large residential houses, each of which represents different architectural design era and appearance. As such, there is no established design pattern in the locality, including roof form and house symmetry.



- 7.26. The proposal would involve the roof ridgeline of the rear outrigger being raised to align with the existing roof ridge line of the house. The proposed rear extension would be constructed of a hipped roof that would integrate with the altered roof of the rear outrigger. Such design would result in an increase in bulk and massing of the existing rear outrigger of the subject building. It was noted upon the Case Officer's site visit that the rear outrigger is well confined to the rear leading to limited views from the public domain. Therefore the material increase in the bulk and massing of the subject building would increase no prominence in the street scene along Seaforth Gardens.
- 7.27. The application building is set on a much larger plot, but is relatively smaller than the neighbouring houses. As observed on the site visit, loft conversion is a common development among the Seaforth Gardens properties, many of which have large dormers erected to the side and rear benefitted from lawful certificate consent and planning permission. Therefore, the increased size of the extended roof of the subject building would not emphasise an impression of overdevelopment on the plot, particularly compared to the larger scales of the adjoining rear dormers. To that extent, it is concluded that the scheme would reflect the aspects of the existing character of the area and would not appear visually-dominate when viewed from the neighbouring properties.

## 8. Conclusion

8.1. It is concluded that the proposed development would neither adversely impact on the character and appearance of the surrounding, and nor create an adverse impact to the neighbouring amenity.

## 9. Recommendation

9.1. As such, approval is recommended, subject to conditions.

## **10.** Recommended Conditions

## Time Limited Permission

1. The development to which this permission relates must be begun not later than the expiration of three years beginning with the date of the decision notice.

Reason: To comply with the provisions of S.51 of the Planning & Compulsory Purchase Act 2004.

## Approved Plans

2. The development hereby permitted shall be carried out in accordance with the following approved plans:

Site Location Plan; 2 Rev. A;

Reason: For the avoidance of doubt and in the interests of proper planning.

Materials to Match

3. The external finishing materials shall match those used in the construction of the existing building and/or areas of hard surfacing.

Reason: To ensure a satisfactory appearance.

No Additional Fenestration

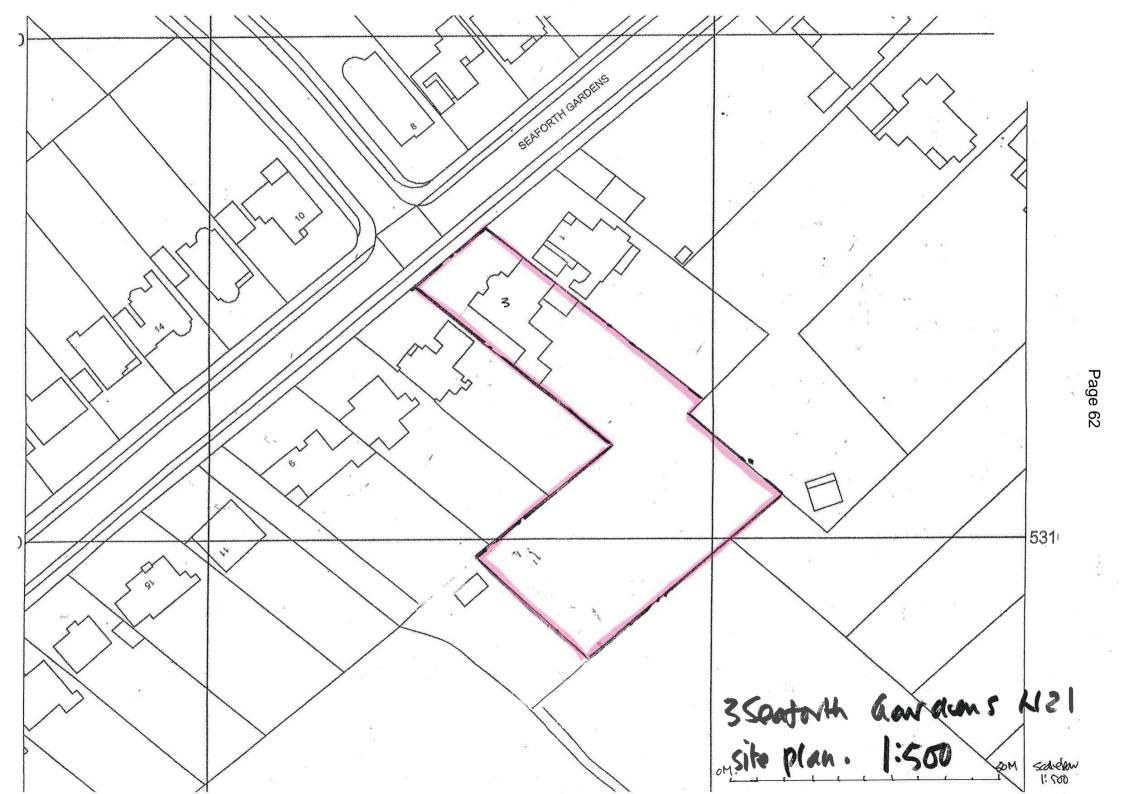
4. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995, or any amending Order, no external windows or doors other than those indicated on the approved drawings shall be installed in the development hereby approved without the approval in writing of the Local Planning Authority.

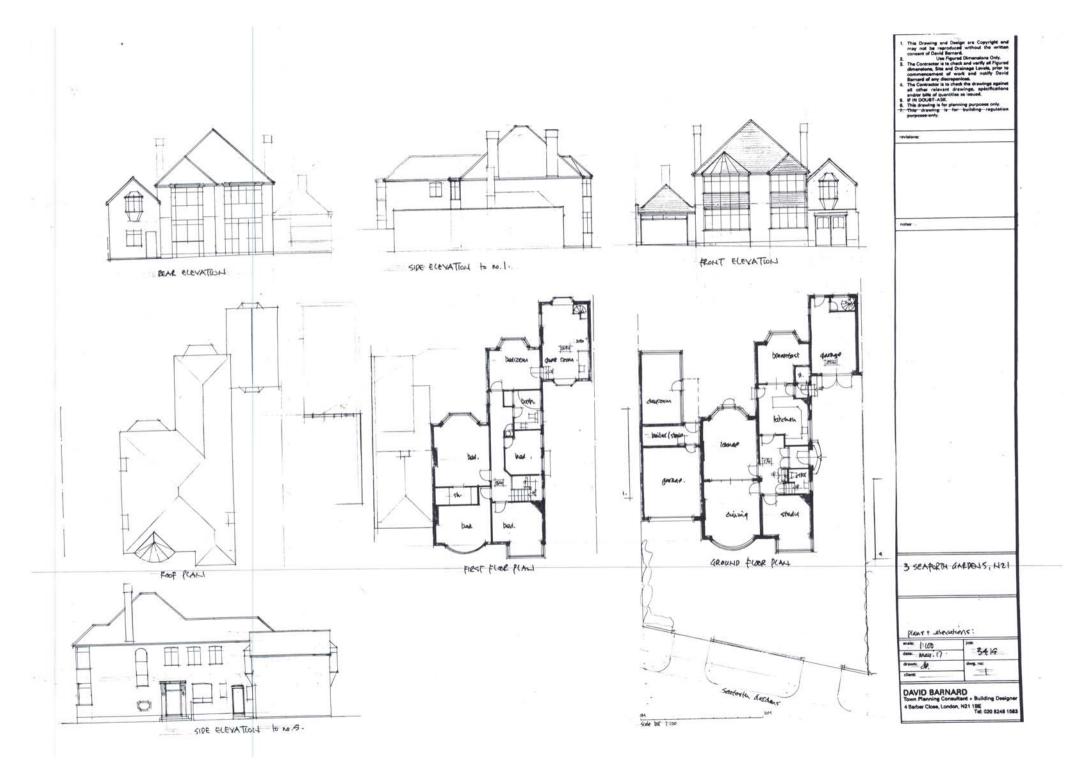
Reason: To safeguard the privacy of the occupiers of adjoining properties.

Restriction of Use of Extension Roofs

5. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995, or any amending Order, no balustrades or other means of enclosure shall be erected on the roof of the extension(s). No roof of any part of the extension(s) shall be used for any recreational purpose and access shall only be for the purposes of the maintenance of the property or means of emergency escape.

Reason: To safeguard the privacy of the occupiers of adjoining properties.

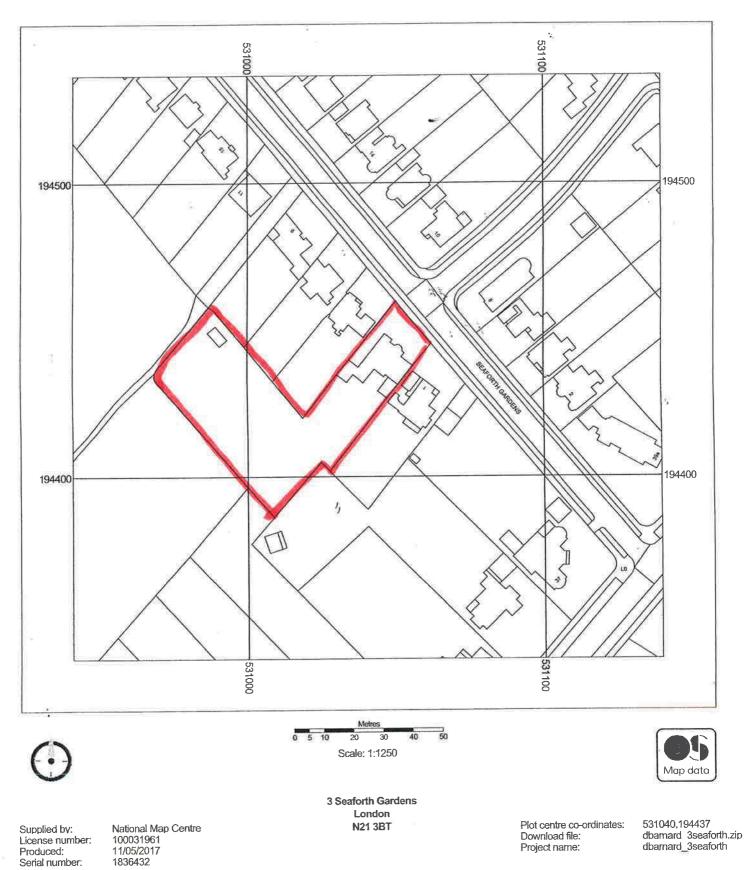




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NATIONAL MAP CENTRE

**OS Plan B&W** 





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Page 67

PLANNING COMMITTEE		Date: 23 <sup>rd</sup> January 2018	
<b>Report of</b> Assistant Director, Regeneration & Planning	<b>Contact Officer:</b> Andy Higham Sharon Davidson Ms Marina Lai Tel No: 0208 379 494	1	Ward: Winchmore Hill
opplication Number: 17/03651/FUL		Category: Minor Dwellings	
Mr Matthew SmithMr Mathew Smith3 Woodside CottagesFirst A		t <b>Name &amp; Address</b> : atthew G Smith Architect bodland Way	
3 Woodside Cottages		•	
3 Woodside Cottages Church Hill	Winch		
3 Woodside Cottages	Winch		



# 1. Site and Surroundings

- 1.1. The application site, known as The Cottage, is a Grade II listed dwelling house located on the northern side of Church Hill. The site is sited within the Winchmore Hill Conservation Area and also forms a group of 3 x Grade II listed detached cottages dated from pre1830's along Church Hill. The other two cottages are named as 'No.1 Woodside Cottage' and 'The Old School House'.
- 1.2. The site contains an empty land to the side. To the rear is Grovelands Park, part of which is woodland.
- 1.3. Winchmore Hill started as a small rural village, which was transformed into a residential suburb in the early 20th century. Together, Winchmore Hill Green and Vicars Moor Lane Conservation Areas encompass the surviving historic settlement, which still retains much of the character of the former village. Winchmore Hill Green was designated as a conservation area in 1968 and extended in 1974.
- 1.4. The surrounding is predominately residential in nature, characterised with large detached / semi-detached dwelling houses of various design eras.

# 2. Proposal

- 2.1. Planning Permission is sought for the subdivision of the site and erection of a two-storey 2-bed 3 person detached dwellinghouse on the existing vacant land of the site.
- 2.2. Orientated with an alignment of the front and rear elevations of the existing house, the new house would appear as a replication of 'The Cottage', in terms of building form, roof form, fenestrations and materials. The new house would have a separation of 2.25m to the flank wall of The Cottage.
- 2.3. The current proposal is a re-submission. The main differences between the current scheme and previous scheme are mainly of fenestrations and reallocation of the proposed crossover.

# 3. Relevant Planning History

- 3.1. 17/01520/FUL: Planning consent was refused for subdivision of site and erection of a detached 2-storey 2-bed single family dwelling house at side with vehicular access via Church Hill, by reasons of:
  - 1) The proposed new dwelling house, by reason of its side entrance door, fenestrations, close proximity to the rear boundary and location visibility of proposed crossover and the extent of associated hard standing, fails to respect the rhythm and particular character of the Woodside Cottages distracting from the established pattern of development in the locality, detrimental to the character and appearance of the conservation area contrary to CP4 and CP30 of the Core Strategy, and DMD6, DMD8, DMD7, DMD 37 and DMD38 of the Development Management Document.

- 2) The proposed development would result in a piecemeal erosion of the greenery on Church Hill leading to the gradual urbanisation of the Conservation Area, failing to conserve and enhance the character of the Winchmore Hill Conservation Area, contrary to Policy 7.8 of London Plan, CP31 of the Core Strategy and DMD44 of the Development Management Document.
- 3) In the absence of Tree Survey Report, the proposed development would provide inadequate separation to a number of third party owned trees nearby which have a high amenity value to the character of the local landscape, and result in a significant harm to the retention and long term survival of these trees, detrimental to biodiversity and local amenity contrary to DMD 37 and DMD 80 of the Development Management Document.
- 3.2. 17/01953/LBD: Listed Building Consent was refused for subdivision of site and erection of a detached 2-storey 2-bed single family dwelling house at side with vehicular access via Church Hill.is recommended refusal, by reasons of:
  - 1) The proposed new dwellinghouse, by reason of the positioning of side entrance door, inappropriate style of fenestration, close proximity to the rear boundary and location and design of the crossover with associated hard standing, fails to respect the rhythm and detailing of the group of listed cottages (The Cottage, Woodside Cottages, Church Hill; 1 Woodside Cottages, Church Hill; The Old School House, Church Hill), and detracts from the established pattern of development in the locality, resulting in a development that is both detrimental to the character and appearance of the conservation area and the setting of neighbouring listed buildings contrary to CP4 and CP30 of the Core Strategy, and DMD6, DMD8, DMD7, DMD 37 and DMD38 of the Development Management Document, Section 16(2) of the Planning (Listed Buildings and Conservation Areas) Act 1990 and Policies 7.4, 7.6 and 7.8 of the Local Plan.
- 3.3. 16/03348/PREAPP: a pre-application request was received for proposed subdivision of site and erection of a detached 2-storey 3-bed dwellinghouse (Options A and B), or a two storey extension to side with detached garage. It was concluded that the principle of development on this site **would not be supported.**
- 3.4. The agent was advised under the above pre-application request that the proposed development would be considered inappropriate to this sensitive location and does not preserve or enhance the significance or setting of the grade II listed heritage asset or better reveal its significance. Moreover, it would fail to preserve and enhance the character and appearance of the Conservation Area. In particular, this harm would not be outweighed by any public benefit that could potentially be delivered by the scheme.
- 3.5. TP/09/1552: Planning application for subdivision of site and erection of a detached 2-storey 2-bed dwellinghouse at side with associated car parking and vehicular access was **withdrawn**.
- 3.6. A meeting between the agent and the council's Officers was set up before the above application was withdrawn. During the meeting, the agent was advised that the proposal would result in a fracturing of its curtilage of a Listed

Building and therefore adversely affect the setting of the Listed Building. As such, the proposed development on this site would not be supported. The above application was later withdrawn.

3.7. TP/05/1060: Application for the same development was considered invalid.

#### 4. Consultations

Responses from Neighbours:

4.1. The application was referred to 6 x surrounding properties, and no comments were received.

Responses from statutory consultees:

4.2. Historic England: This application should be determined in accordance with national and local policy guidance, and on the basis of your specialist conservation advice.

#### Responses from internal consultees:

- 4.3. Transport Team: No objection to the proposal, subject to conditions.
- 4.4. Environmental Health: No objections to the proposal.
- 4.5. Tree Officer: placed no objections to the submitted Tree Survey Report.
- 4.6. CAG: The Group supported the proposal.

CAG noted that the SDCT supported this application. This application is a further attempt to introduce a new cottage into the historic group of cottages. Members have diverse views on the principle as to whether it is right to introduce a new cottage into this setting. The applicant has tried to address the objections, made by Enfield, in the rejection of the earlier application (17/01520/FUL). The main entrance has been moved to the front elevation and the cottage has been repositioned on the site. This has resulted in better spacing with its neighbour and greater visual continuity with the historic group. Once again CAG voted on the proposal; the result being very similar to the vote taken on the initial submission.

#### 5. Relevant Policies

#### 5.1. <u>Core Strategy</u>

CP2: Housing Supply and Locations for New Homes CP4: Housing Quality CP24: The Road network CP 25: Pedestrians and Cyclists CP26: Public Transport CP30: Maintaining and Improving the Quality of the Built and Open Environment CP31: Heritage

5.2. Development Management Document

DMD 6: Residential Character DMD 7: Development of Garden Land DMD 8: General Standards for New Residential Development DMD 9: Amenity Space DMD10: Distancing DMD 37: Achieving High Quality and Design-Led Development DMD 44: Conserving and Enhancing Heritage Assets DMD 45: Parking Standards and Layout DMD47: New roads, access and servicing DMD48: Transport assessments DMD49: Sustainable design and construction DMD79: Ecological Enhancements DMD80: Trees DMD 81: Landscaping

5.3. London Plan

Policy 3.5: Quality and Design of Housing Developments Policy 3.14: Existing housing Policy 5.3 Sustainable design and construction Policy 6.9: Cycling Policy 6.13: Parking Policy 7.4: Local Character Policy 7.6: Architecture Policy 7.8: Heritage Policy 8.3: Community infrastructure levy

5.4. National Planning Policy Framework (NPPF)

Section 7: Requiring Good Design Section 12: Preserving and Enhancing Historic Environment

5.5. Other Relevant Policy Considerations

Enfield Characterisation Study Mayor's Supplementary Housing Guidance Technical housing standards - nationally described space standard Winchmore Hill & Vicars Moor Lane Conservation Area Character Appraisal 2015

#### 6. Main Issues to be Considered

- 6.1. The current application is a re-submission of a similar development 17/01520/FUL & 17/01953/LBD. The previous scheme was refused on 4 x grounds:
  - The proposed new dwelling house, by reason of its side entrance door, fenestrations, close proximity to the rear boundary and location visibility of proposed crossover and the extent of associated hard standing, fails to respect the rhythm and particular character of the Woodside Cottages distracting from the established pattern of development in the locality, detrimental to the character and appearance of the conservation area.

- 2. The proposed development would result in a piecemeal erosion of the greenery on Church Hill leading to the gradual urbanisation of the Conservation Area, failing to conserve and enhance the character of the Winchmore Hill Conservation Area.
- 3. In the absence of Tree Survey Report, the proposed development would provide inadequate separation to a number of third party owned trees nearby which have a high amenity value to the character of the local landscape, and result in a significant harm to the retention and long term survival of these trees, detrimental to biodiversity and local amenity.
- 4. The proposed new dwellinghouse, by reason of the positioning of side entrance door, inappropriate style of fenestration, close proximity to the rear boundary and location and design of the crossover with associated hard standing, fails to respect the rhythm and detailing of the group of listed cottages (The Cottage, Woodside Cottages, Church Hill; 1 Woodside Cottages, Church Hill; The Old School House, Church Hill), and detracts from the established pattern of development in the locality, resulting in a development that is both detrimental to the character and appearance of the conservation area and the setting of neighbouring listed buildings.
- 6.2. As such, the main issues to be considered under this application will be whether or not that the amended scheme has adequately addressed the Reasons of Refusal issued under 17/01520/FUL & 17/01953/LBD, in addition to the following planning considerations:
  - Quality of living accommodation;
  - The acceptability of the scheme in terms of its impact on amenity of future residents and adjoining occupiers; and
  - Transport impact in terms of associated car / cycle parking, servicing and refuse arrangements.

#### Reason of Refusal 1): Design

- 6.3. DMD6 and DMD8 of the council's adopted DMD require that new residential development must not harm the character of the area, and the design and scale must be considered in the context of the surrounding pattern of development.
- 6.4. Under the previous scheme, the proposed new house, by reason of its side entrance door, fenestrations, close proximity to the rear boundary and location visibility of proposed crossover and the extent of associated hard standing, was considered to disregard the rhythm and particular character of the Woodside Cottages distracting from the established pattern of development in the locality. It was also considered that the design was neither nuanced nor contextual in its approach and failed to take cues from the predominantly vernacular buildings found in the surrounding Conservation Area.
- 6.5. The current scheme is proposed a number of amendments in order to address the issues raised. The main entrance has been moved to the central of the front elevation and the new cottage has been repositioned on the site.

The crossover has been reallocated to the side, allowing the front garden to be landscaped. The fenestration and proposed materials would replicate the design of The Cottage, while the rear building line would also secure a common alignment of the neighbouring property. All these have resulted in better spacing with its neighbour and greater visual continuity with the historic group.

6.6. It is then considered that the Reason of Refusal 1) has been adequately addressed.

Reason of Refusal 2) and 4): impact on the setting of existing listed building groups and the character and appearance of the conservation area

- 6.7. The application site is a Grade II listed dwelling house within the Winchmore Hill Conservation Area and forms a group of 3 x Grade II listed detached cottages dated from pre1830's along Church Hill.
- 6.8. The proposal would involve the subdivision of the curtilage of a Grade II listed building. The principal heritage considerations will therefore be given to the impact of the proposed development upon the setting of the listed building(s) / its significance and the character and appearance of the Conservation Area.
- 6.9. Under the previous scheme, to introduce a new cottage at this location was not supported in principle owing to its adverse impact on the setting of the listed cottage group. Moreover, the proposed development would result in a loss of greenery which is not supported in line with the Winchmore Hill Conservation Area Character Appraisal. The piecemeal erosion of the greenery on Church Hill will lead to the gradual urbanisation of the Conservation Area and detract from the setting of existing buildings.
- 6.10. Sections 16(2) of the Planning (Listed Buildings and Conservation Areas) Act 1990 states: 'In considering whether to grant listed building consent for any works the local planning authority or the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historical interest which it possesses.'
- 6.11. The National Planning Policy Framework (NPPF) provides guidance with local planning authorities on how to safeguard this special interest. Paragraph 132 states that when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation. As heritage assets are irreplaceable, any harm should require clear and convincing justification.
- 6.12. Paragraphs 134 states that 'Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal, including securing optimum viable use.
- 6.13. The NPPF also requires local planning authorities to 'identify and assess the particular significance of any heritage asset that may be affected by a proposal (including by development affecting the setting of a heritage asset) taking account of the available evidence and any necessary expertise. They should take this assessment into account when considering the impact of a proposal on a heritage asset, to avoid or minimise conflict between the heritage asset's conservation and any aspect of the proposal'.

6.14. DMD44 (Conserving and Enhancing Heritage Assets) resists developments that fail to conserve and enhance the special interest, significance or setting of a heritage asset. Paragraph 8.5.4 goes on to state:

Development affecting the significance of an asset may include, but is not limited to: the introduction of new structures/objects; alterations; complete or partial demolition; removal of buildings/features or parts thereof; the introduction of signage or advertisements; changes of use (including the use of open spaces); <u>subdivision or fragmentation;</u> changes to landscaping; the removal of built or landscape features or parts thereof; or any other form of development which fails to conserve and enhance the asset or its setting.

6.15. As cited in the council's adopted the Character Appraisal 2015 (shown below), the setting of the vernacular Woodside Cottages is identified as one of the architectural highlights within the conservation area and are of special interest and warrant every effort being made to conserve them.

#### Character area: Church Hill

2.7.1. Church Hill is much wider than the roads around and its gently curving nature is more informal than other roads in the Conservation Area......Approaching from the west, Woodside Cottages provide a strong gateway, their proximity to the road and distinctive, white painted weatherboarding in strong contrast to the preceding suburban housing. A belt of trees on the opposite side of the road gives these buildings an apparently rural setting, masking the ranks of interwar semis beyond.

- 6.16. A distinctive characteristic of the existing three Grade II listed cottages is their relationship to one another due to the fall in ground level, with each lower than the adjacent dwelling. The frontage with horizontally constructed weatherboard, formal window arrangements and single roof plane is repeated in each cottage to assist in integrating these three properties into a set of uniformity having a prominent view along Church Hill.
- 6.17. The proposal would result in a fracturing of the curtilage of a listed building materially affecting the setting of a listed building. It is also noted that the proposed new house is designed to replicate the adjacent listed cottages which would also materially affect the setting of a group of listed buildings.
- 6.18. Whilst it is acknowledged that this proposal would provide for additional housing within the borough, it is considered that the principle of the back garden house at this location is not considered acceptable in principle. The proposal plotting a cottage of replicated design of adjacent listed cottage group would be an insensitive development, adversely affecting the setting of the heritage asset and failing to conserve and enhance the character of the conservation area that the council seeks to protect. As such, the development would not be supported.

#### Reason of Refusal 3): Impact on Trees

6.19. The applicant has submitted a Tree Survey Report demonstrating the impact on the existing and adjoining trees as a result of the proposed development. The council's Tree Officer placed no objection to the Report, subject to the submitted Tree Protection Plan and Arboricultural Method Statement being made condition. In addition the submitted details for the foundation system would be also made condition to minimalize harm to the woodland trees root system.

6.20. Subject to conditions, the proposal is not considered to generate an undue impact on existing trees on site and adjoining sites. Therefore, the Reason of Refusal 3) has been adequately addressed.

#### Quality of accommodation

- 6.21. The 'Technical housing standards nationally described space standard' (2015) sets out the minimum gross internal floor area (GIA) of 79sqm for 2bed four person over two-storey dwelling, which the proposal adequately complies with.
- 6.22. With regards to its layout, the proposal is also considered to provide adequate resource to light, ventilation and outlook.
- 6.23. DMD 9 (Amenity Space) requires that new residential development must provide quality private amenity space that is not significantly overlooked by surrounding development and meets or exceeds the minimum standards of 29sqm for a dwelling house. The proposed outdoor garden is considered adequate to meet the needs of the new house.
- 6.24. In light with the above assessments, the proposed development is considered to provide an acceptable quality of accommodations to future occupiers of the development.

#### Impact on neighbouring amenity

- 6.25. DMD 6 and 8 ensure that residential developments do not prejudice the amenities enjoyed by the occupiers of neighbouring residential properties in terms of privacy, overlooking and general sense of encroachment. In addition Policies 7.4 of the London Plan and CP30 of the Local Plan seek to ensure that new developments have appropriate regard to their surroundings, and that they improve the environment in terms of visual and residential amenity. DMD 10 also specifies that facing windows for 2-2 storeys should be 22 metres apart.
- 6.26. The new house would align with the front building line of the listed 3 x dwelling houses, with a distance of 8.2m to the flank wall of No.3. Despite that such a distance is below the requirement of 11m as set out in DMD10, it is noted that the flank wall of No.3 contains no upper floor windows and the existing distances between the existing dwelling houses of No.1 No.3 The Cottage are varies and also are less than 11m. Given its local context and sitting, the proposed development is, on balance, not considered to generate any detrimental impact to the amenity of adjoining occupiers.

#### Transport Impact

- 6.27. The council's Transport Team was consulted on the proposal and provided with the following comments.
- 6.28. **Vehicular access:** The proposed off-street park area would have a sufficient space enabling adequate manoeuvring to be undertaken and vehicles to be

able to exit onto roadways in a forward's direction. Such arrangements are considered acceptable, and details of the vehicular access can be dealt with by way of planning condition.

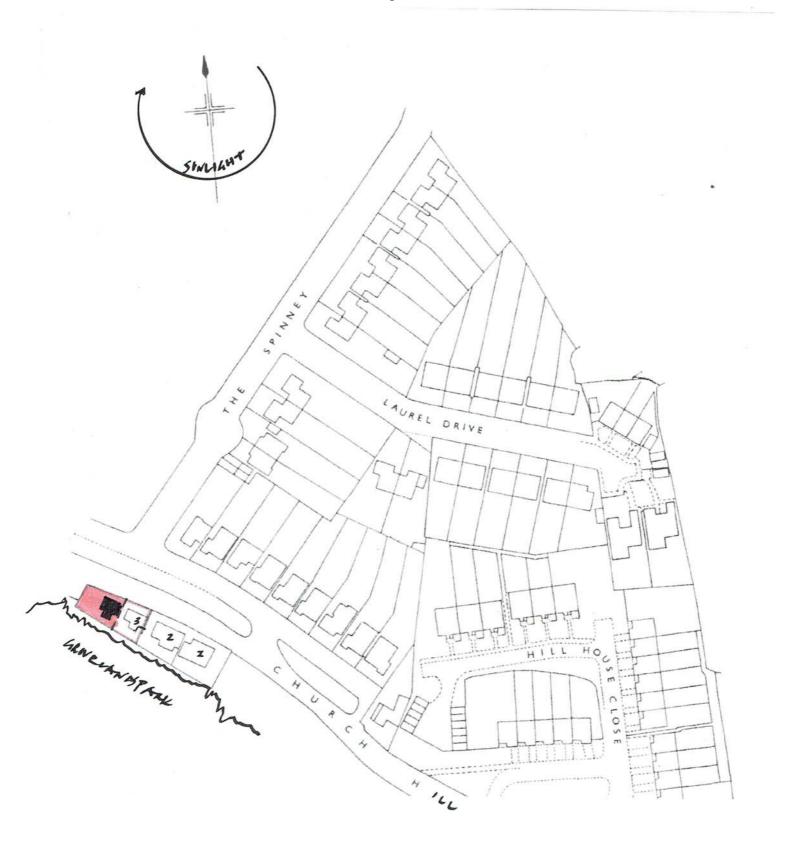
- 6.29. *Car Parking:* The proposal would contain 1 x off street car parking space to the side of the new house, which is acceptable for a development of this scale.
- 6.30. **Refuse and Recycling:** DMD 47 specifies that new development will only be permitted where adequate, safe and functional provision is made for refuse collection. The refuse and recycling provision should be provided in line with the Council's Refuse and Recycling Guide ENV 08 162. This could be dealt with by way of planning condition.
- 6.31. **Cycle Parking:** The development must provide secure, integrated, convenient and accessible cycle parking in line with the minimum standards set out in the current London Plan Table 6.3 as required by DMD Policy 45 and the guidance set out in the London Cycle Design Standards. This could be dealt with by way of planning condition.
- 6.32. Subject to conditions, the proposal is considered to generate an acceptable level of impact on transport.

## 7. Conclusion

7.1. In light with the above assessment, the proposed subdivision of the site was not supported in principle, owing to its adverse impact on the setting of the listed buildings and the character of the conservation area.

#### 8. Recommendation

- 8.1. Planning consent is recommended refusal by reasons of:
  - The proposed development would result in a piecemeal erosion of the greenery on Church Hill leading to the gradual urbanisation of the Conservation Area, both detrimental to the character and appearance of the Winchmore Hill Conservation Area and the setting of neighbouring listed buildings, contrary to CP4 and CP30 of the Core Strategy, and DMD6, DMD7, DMD8, DMD 37, DMD38 and DMD44 of the Development Management Document, Section 16(2) of the Planning (Listed Buildings and Conservation Areas) Act 1990 and Policies 7.4, 7.6 and 7.8 of the Local Plan.



FIRST ARCHITECT	MOBILE 07932 618 264	REVISION / DATE	DRAWING NUMBER	CLIENT Address	3 WOODSIDE COTTAGES WINCHMORE HILL LONDON N21 1JA
36, WOODLAND WAY WINCHMORE HILL LONDD3QM21 3QA	TEL 020 8886 1373	E~MAILS mgs220355@gmail.com	scale 1:1250/A4	SCHEME Drawing	DEVELOPMENT (2BED HOUSE) LOCATION PLAN



# FIRST ARCHITECT ARCHITECT

36, WOODLAND WAY WINCHMORE HILL LONDON N21 3QA



MOBILE 07932 618 264

REVISION / DATE

/ AUGUST 2016

DRAWING NUMBER FA/3W5/P1

CLIENT MARTIN HARVEY Address 3 WOODSIDE COTTAGES WINCHMORE HILL LONDON N21 1JA

020 8886 1373

TEL

E~MAILS mgs220355@gmail.com SCALE NTS/A4 SCHEME DEVELOPMENT Preasing FRONT STREET ELEVATION



FIRST ARCHITECT ARCHITECT

MOBILE 07932 618 264

REVISION / DATE

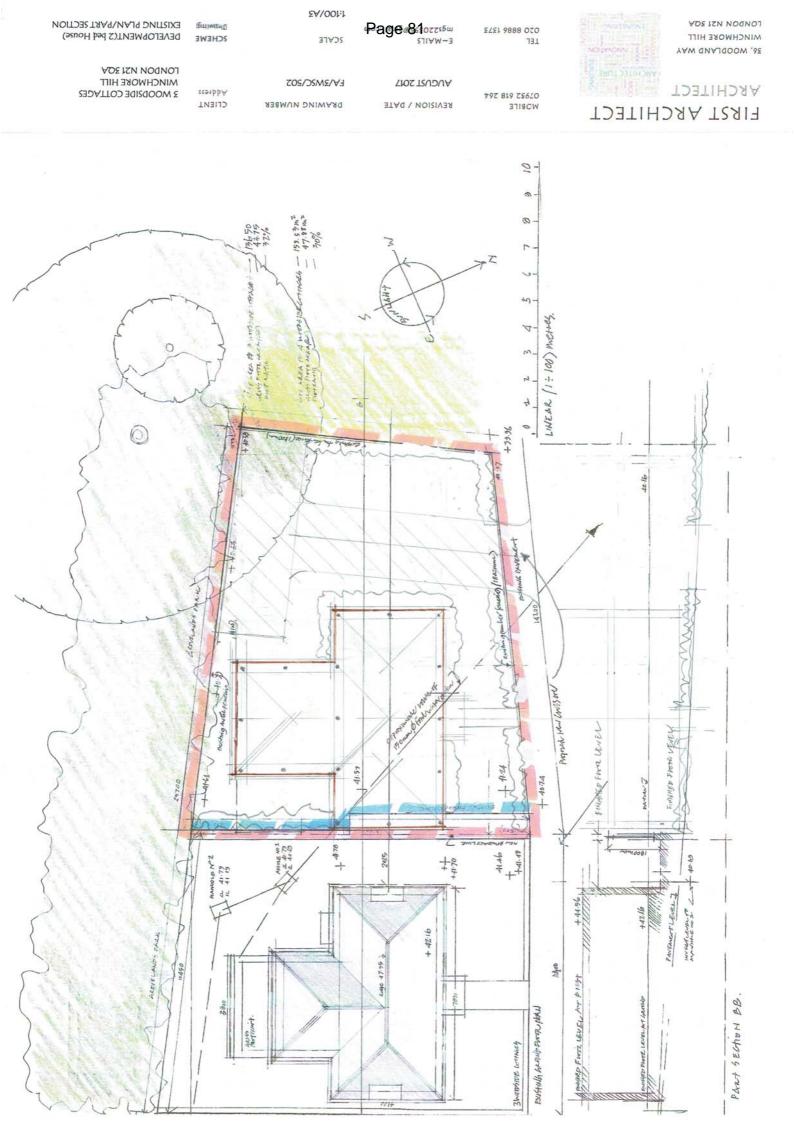
DRAWING NUMBER

CLIENT MARTIN HARVEY Address 3 WOODSIDE COTTAGES

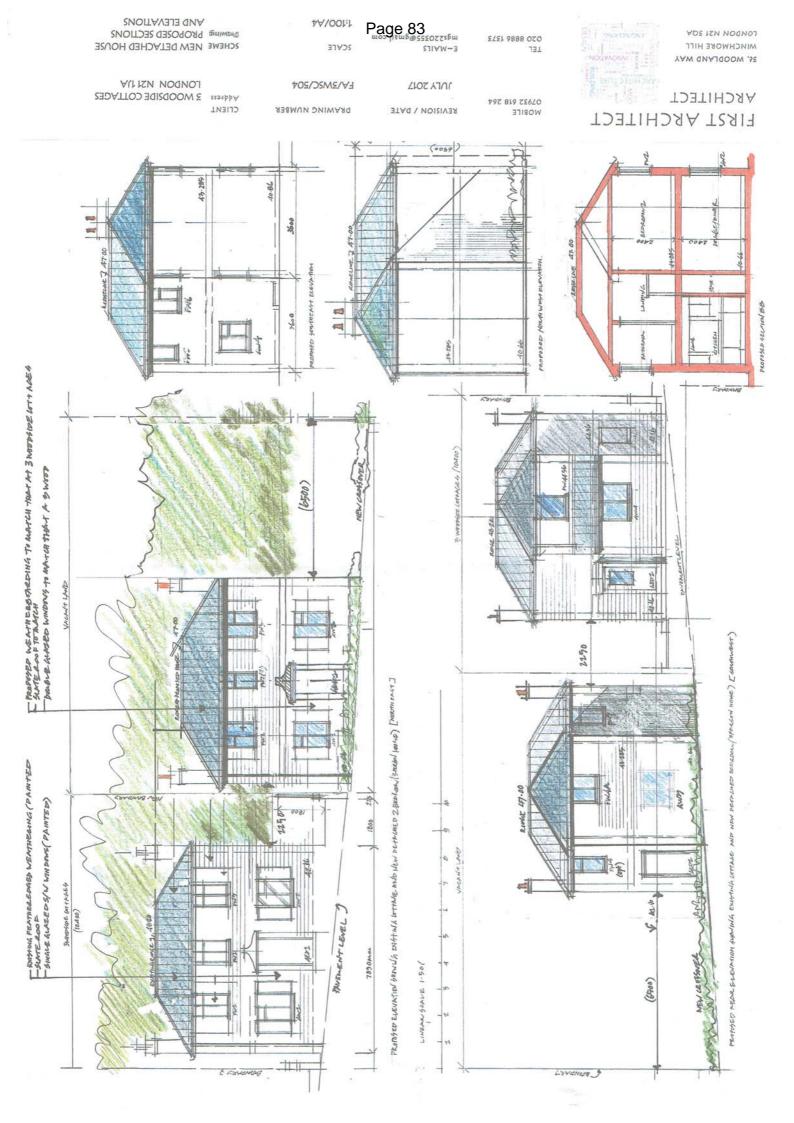
WINCHMORE HILL

/ AUGUST 2016

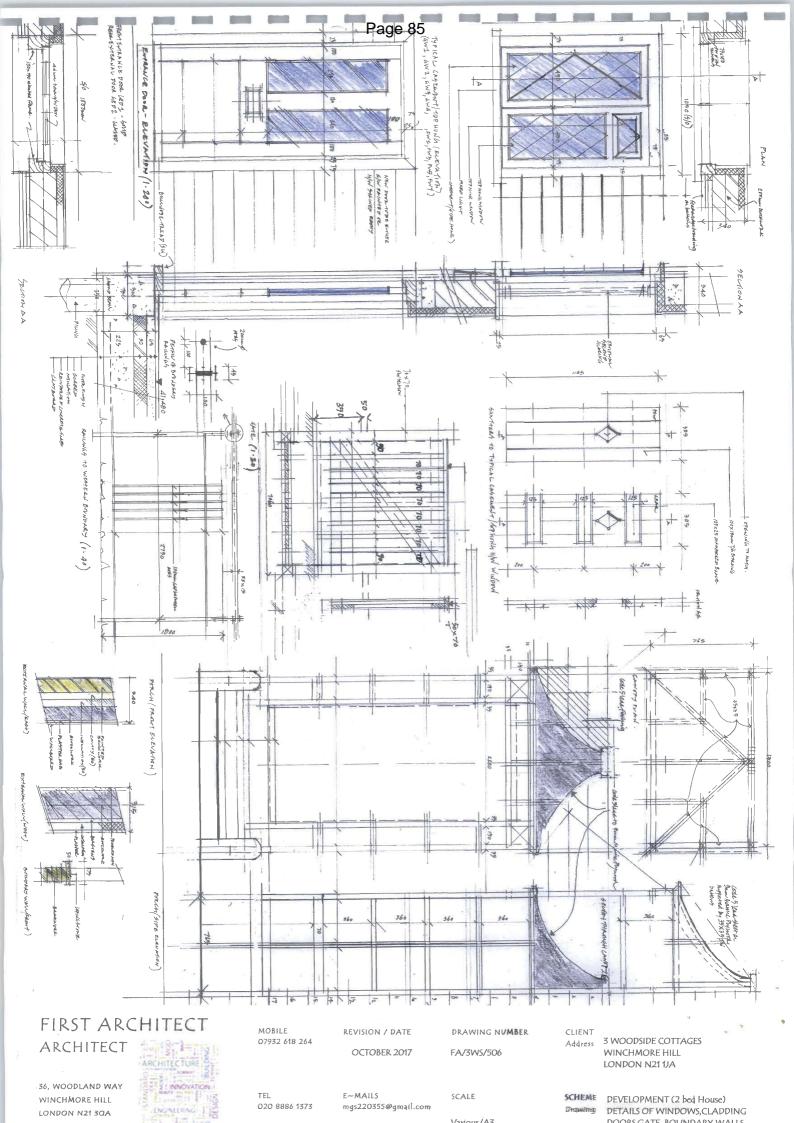
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PLANNING COM	IMITTEE	<b>Date :</b> 23	Date : 23 January 2018		
<b>Report of</b> Assistant Director, Regeneration & Planning	<b>Contact Officer:</b> Andy Higham Sharon Davidson Mrs Jennie Rebairo Tel No: 020 8379 38	322	<b>Ward:</b> Bush Hill Park		
<b>Ref:</b> 17/04799/ADV		Category: /	Category: Advertisement Consent		
LOCATION: Public Footpath Outside, 124 - 146 Village Road, Enfield, EN1 2EX					
PROPOSAL: Installation of	an internally illuminated	d freestanding d	oubled sided digital display un		
Applicant Name & Address: Mr Matthew Coe 33 Golden Square London W1F 9JT		Agent Name & Address: N/A			
	I				
RECOMMENDATION:					
<b>RECOMMENDATION:</b> Planning permission be <b>GR</b>	ANTED subject to cond	tions.			
	ANTED subject to cond	tions.			



#### 1. Site and Surroundings

- 1.1 The application site consists of an area of public highway opposite Nos. 124 -146 Village Road which is a purpose built block of residential units. The block is set back from Village Road by approximately 19 metres separated by communal garden space.
- 1.2 To the south of the site is Bush Hill Parade which consists of a number of commercial premises with a deep front forecourt which has recently been redesigned to introduce the Cycle Enfield Scheme.
- 1.3 An existing freestanding advertisement unit was sited within the forecourt opposite No. 16 Bush Hill Parade. The advertisement unit was removed when Cycle Enfield works were undertaken.
- 1.4 The relocation of the freestanding advertisement unit is proposed to be sited on public highway which sits outside the communal gardens of properties 124-146 Village Road.
- 1.5 The property is not in a Conservation Area and is not listed.

#### 2. Proposal

- 2.1 Advertisement consent is sought for the proposed replacement of the existing freestanding display unit with a new internally illuminated freestanding display unit.
- 2.2 The applicants Clear Channel in partnership with London Borough of Enfield have submitted a number of Advertisement Consent applications for sites within the borough to remove and upgrade existing JCDecaux street signs. The application forms part of this upgrade programme.
- 2.3 The free standing sign has a height of 2.95 metres a width of 1.336 metres and a depth of 0.3 metres.
- 2.4 The brightness of the display will be controlled by the ambient environmental control, which automatically adjusts the brightness level of the screen to track the changes in light level in the environment throughout the day. This ensures that the perceived brightness of the display is maintained at a set level. The level of illumination during the hours of darkness will be 280cd/m2.
- 2.5 The digitally generated display will produce sequential images. These will contain no full motion video or displays unless consent has been granted for such movement. Advertising copy shall not change more frequently than every 10 seconds and the transition to the next advertisement will be via a smooth fade. This is in line with the existing consented scrolling advertising units in the borough.

#### 3. Relevant Planning History

3.1 None

#### 4. Consultation

#### 4.1 <u>Public Consultations</u>

The 21 day public consultation period started on the 10<sup>th</sup> November. It was brought to our attention by a member of the public that the application address was incorrect. The application had been submitted as Outside 124-146 Bush Hill Road and not Outside 124 -146 Village Road which is the correct address.

- 4.2 All correspondence has been corrected by the applicant and our system updated. Re-consultation letters sent to all neighbours advising them of a revision and inviting any comments to be submitted by 8<sup>th</sup> December 2017.
- 4.3 One letter of objection received as follows:-
  - This is not a replacement;
  - Should be relocated outside Greggs on Church Street;
  - Existing eyesore two junction boxes large blank rubbish bins bus stop rubbish bin;
  - Five benches on Bush Hill Parade create additional litter;
  - Bus shelter faces property invading privacy; and
  - Advertisement unsightly and unnecessary.
- 4.4 Internal

Traffic & Transportation - No objection

4.5 <u>External</u>

None

#### 5. Relevant Policies

5.1 Core Strategy

CP30: Maintaining and Improving the Quality of the Built and Open Environment

5.2 <u>Development Management Document (adopted in November 2014)</u>

DMD 37: Achieving High Quality and Design-Led Development DMD 41: Advertisement

5.3 London Plan (2015)

Policy 7.4: Local Character

5.4 Other Relevant Policy Considerations

NPPF

#### 6. Analysis

- 6.1 The main issues for consideration regarding this application are as follows:
  - Design and Impact on the surrounding area;
  - Highway Safety; and
  - Neighbouring Amenity.
- 6.2 Scale, Design, Character
- 6.2.1 It is considered that the question of amenity includes the relationship of advertisements to the surrounding area and their effect on the visual quality of the general street scene. In this regard design principles seeks to ensure that advertisements are of a size, siting and design that would not give rise to conditions prejudicial to highway safety and would not become overly dominant or result in a cluttered appearance that actively detracts from the visual amenity of the surrounding area.
- 6.2.2 An existing freestanding digital panel has been removed from its established position outside No. 16 Bush Hill Parade due to the works carried out as part of the Cycle Enfield project. The replacement panel is sited further north outside 124 -146 Village Road. It is accepted that this is a replacement in a position further north than its previous position. The relocation is due to the works carried out along this section of highway for the introduction of Cycle Enfield including works to the forecourt which form part of Bush Hill Parade. There are limited positions on the footpath to relocate the unit as a result of the Cycle Enfield Scheme. The relocation of the sign would sit forward of existing street furniture including two Utility Boxes. It was considered that the proposed relocation was the best position to install the unit. Given the proposed sign would serve as a replacement and having regard to the surrounding street furniture within this section of Village Road, including Post box, Utility Boxes, bin and bus stop, it is concluded that the replacement digital panel would not be visually intrusive, not assisting in creating a cluttered appearance within the street scene having regard to policies CP30 of the Core Strategy and DMD37 and DMD41 of the Development Management Document.

#### 6.3 <u>Neighbouring amenity</u>

6.3.1 Objections from a local resident have been received and they have been acknowledged. Whilst, it is recognised that the siting of the sign is closer to the residential block Nos. 124 -146 Village Road in terms of visual impact or clutter this would remain acceptable. The location of the unit is sited approximately 19 metres from the residential block and given its position close to existing utility boxes would not assist in creating additional clutter along this section of Village Road not having a harmful impact on the character of the existing street scene.

6.3.2 It is not considered that the digital panel by virtue of its siting, dimensions or level of illumination would be detrimental to the residential amenities of the surrounding properties.

#### 6.4 <u>Highway Safety</u>

- 6.4.1 It is noted that the new footway along this section of Village Road has a reasonable width. The unit would be placed in front of existing Utility Boxes and there remains significant footway width in the area where the proposed replacement display sign is to be installed. It is not thought that the display sign in the proposed location will be an obstruction to the smooth movement of pedestrians and cyclists in the surrounding local area.
- 6.4.2 Furthermore, it is considered that the digital panel by virtue of its siting, dimensions or level of illumination would not be detrimental to highway safety or pedestrian safety. It is noted that the panel would be erected within the proximity of a bus stop, however given this is an established location and having regard to sight lines, as such it is not considered that the panel would impact detrimentally on visibility. The size and siting of the advertisement is such that it would not be detrimental to the safety of pedestrians or drivers.

#### 7. Conclusion

It is therefore considered that the signage would not be intrusive or detract from the visual amenities of Village Road or the surrounding area, or be detrimental to highway and pedestrian safety and complies with Local Plan Policies CP30 and Development Management Document Policies DMD37 and DMD41 and planning consent be GRANTED.

#### 8. Recommendation

That planning permission be granted subject to the following conditions:-

- 1. C44 Time limit
- 2. The development hereby permitted shall be carried out in accordance with the approved plans;

Location Plan Supporting Statement Specification Sheet

Reason: For the avoidance of doubt and in the interests of proper planning.

3. The intensity of the illumination of the [sign] permitted by this consent shall be no greater than 280 candela, or (where unspecified) within that recommended by the Institution of Lighting Engineers for a sign within a Lit Zone in their Technical Report No.5 (Third Edition-2001). Page 93

Reason: In the interests of amenity and highway safety.

# Adshel Live Product specification sheet – Digital Freestanding Unit

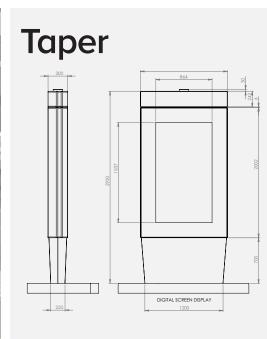


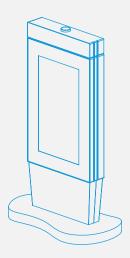
**Clear Channel** 

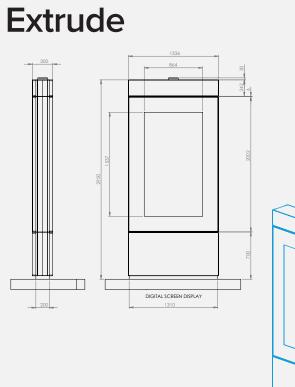
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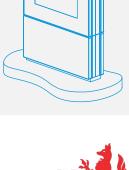
















# Adshel Live - Product specification sheet

#### Digital outdoor LCD display

- Outdoor FSU available in single sided digital with LED backlit rear poster
- Suitable as Shelter Adbox replacement
- Cooling is by fans to maintain normal working temperature within the unit

Screen type	TFT LCD Portrait 16:9
Screen size	69.5" diagonal; active area 864 x 1537mm
Resolution	full HD 1920 x 1080 pixels; pixel pitch = 0.8mm
Brightness	max: 2000 nits; min: 285 nits; LED backlight
RGBW LCD sensor	located in top right hand corner
Ambient light sensor	auto-brightness control
Safety glass	9.5mm laminated (4mm sheets)
Screen centre point	1701* mm nominally above finished ground level
Door opening (digital)	top hinged assembly with bottom cam-operated secured latching mechanism
Backlit poster	LED backlight
Safety glass (poster)	6mm toughened
Door opening (poster)	top hinged assembly with bottom cam-operated latching mechanism
Material	stainless steel
Finish	textured powder coat black paint
PC	i5 4590T running Windows Embedded Standard 7
Connectivity	cellular 3G (upgradable to 4G)
Remote monitoring	Amscreen RDM monitoring & management system
Voltage/ current	230VAC +/-10% 50Hz; 8A @ 230VAC
Power consumption	typical: 1200-1500W; maximum: 2650W (end of life)
Load centre	remotely located with over-current & RCCB trip (30mA)
Temperature range	operational: -20C to +40C; storage: -20C to +60C
Humidity	operational: 5% to 95% relative humidity
Dimensions*	2950(H)x1336(W)x300(D) mm (interface control drawing details dimensions & fixings)
Weight	350* kg
Approvals	CE; EMC:EN55022,EN55024,EN61000-3-2/3-3;EN50121-4 safety: EN60950-1
Plinth	Incorporates mains feed, smart meter, consumer panel and photo-cell (for poster display)





For more information please contact:

Karen Rankin Development D +44 (0) 207 478 2961

E Karen.Rankin@clearchannel.co.uk





# Clear Channel United Kingdom Where brands meet people

# Outdoor Digital Advertising Supporting Information

#### Introduction

Digital technology is changing the delivery of information. There are digital phones, digital cameras, digital televisions and radios, digital newspapers and now digital advertisement displays on bus shelters and freestanding units (FSUs). Digital advertising has already become the norm in indoor environments and many outdoor large format billboards have already converted to this format. The modernisation of the existing advertising estate is a natural process of evolution, particularly relevant in commercial areas and key arterial routes.

On bus shelter or FSU displays, digital technology produces poster images but these are changed electronically, negating the need for printing on paper or vinyl and the subsequent task of recycling the posters. The versatility that digital advertising provides means that advertising is able to be changed more often than the current two weekly cycle and provides a more direct service for our clients.

The use of modern technology to deliver images to the panels, allows not only commercial information to be displayed, but enables police and government agencies to deliver speedy emergency information and quick communication to the public. The advertising revenue raised helps support local authority services in the provision, cleaning and maintenance of bus shelters and other services.

Digital technology is here to stay and will continue to grow. Since 2011 digital expenditure on displays on outdoor advertising in the UK has risen from £128m in 2011 to £214m in 2013 (Source: Outdoor Media Centre) and is predicted to continue to grow at a fast pace in the future. We have recently received over 800 planning consent approvals nationwide and are currently rolling out a digital installation programme both in existing and new locations.

# **Existing Digital Units on the Highway**

In 2011 a hundred digital displays were erected on bus shelters in Central London. Any concerns expressed, before they were erected, about them being far brighter than the traditional existing back illuminated display they replaced proved to be unfounded. No complaints have been received regarding these displays. The 100 panels are now accepted as part of the street scene in central London, including such key locations as:-

- Oxford Street, and Park Lane in Westminster
- Kensington High Street, Kensington & Chelsea
- Kings Cross & Euston Stations, Camden
- Shepherds Bush, Hammersmith & Fulham

# Illumination

The illumination of the panel to the viewer's eye is similar in brightness to the existing advertising panels using florescent lighting, and well within the recommended limits. The panel can be controlled and it is recognised that at night time less light is needed for the displays to be visible and more light is needed to be emitted during the day to compete with the sunlight strength. The overall effect is to ensure the advertising can be seen crisply, however with little effect on the environment than is already in place.

The brightness of the display will be controlled by the ambient environmental control, which automatically adjusts the brightness level of the screen to track the changes in light level in the environment throughout the day. This ensures that the perceived brightness of the display is maintained at a set level. The level of illumination during the hours of darkness will be 280cd/m2. This is well below the maximum level recommended by the Institute of Lighting Engineers in their Technical Report Number 5, Brightness of Illuminated Advertisements which is 600cd/m2 for this zone.

The digital panels will replace existing consented illuminated panels only. The existing panels are illuminated to 290cdls and have been in place for many years, with no related issues. The light level dispersion of the new digital panel into the environment may be perceived as less than the traditional existing panel due to the illuminated area being considerably smaller in size than the 6 sheet display.

# **Digital Displays**

The digitally generated display will produce sequential images. These will contain no full motion video or displays unless consent has been granted for such movement. Advertising copy shall not change more frequently than every 10 seconds and the transition to the next advertisement will be via a smooth fade. This is in line with the existing consented scrolling advertising units in the borough.

# **Advertisement Regulations**

All digital displays shall conform to the five 'Standard Conditions' specified in Schedule 2 of The Town and Country Planning (Control of Advertisements) (England) Regulations 2007

# Additional benefits of digital displays

- Any voidage in advertising space will be provided free of charge to the Council for generic Council campaign Information.
- Flexibility to change copy at short notice and carry emergency public services announcements
- Advertising revenue supporting local authority services
- The flexibility it provides allows local businesses to access space at affordable prices in short term related slots, rather than the standard industry two week packages.
- Clear Channel regularly donates digital space free of charge to charities and as part of the outdoor industry initiative has worked closely with the Missing Persons Charity.
- Reduction in the printing of paper or PVC posters and the subsequent need to recycle them.



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# MUNICIPAL YEAR 2017/2018 REPORT NO.

# COMMITTEE:

PLANNING COMMITTEE

23.01.2018.

**REPORT OF:** 

AGENDA – PART 1 SUBJECT -S106 AGREEMENTS – MONITORING INFORMATION, MID YEAR REPORT WARDS: ALL

Director - Regeneration and Environment

Contact Officers:

Isha Ahmed X3888	isha.ahmed@enfield.gov.uk		
Robert Davy X2263	robert.davy@enfield.gov.uk		

See Annexes 1 & 2

# 1. SUMMARY

- 1.1 This report provides an update on the monitoring of Section 106 Agreements (S106) and progress on Section 106 matters during the period 1 April 2017 to 30 September 2017. It provides an overview of:
  - The position regarding current S106 Agreements, categorised by constituency, including the type and amount of financial obligations, progress on spend and implementation of schemes;
  - New S106 agreements agreed and signed since April 2017
- 1.2 This report is provided for information only. Members are invited to contact the officers named above for more information on individual schemes.

# 2. **RECOMMENDATION**

2.1 That Planning Committee note the contents of this Report and its Annexes.

# 3. S106 MONITORING OVERVIEW

3.1 Planning obligations (often referred to as S106 agreements) are legal agreements between developers and the Council for the provision of, for example, affordable housing, local training and jobs, and other site-specific mitigation measures to lessen the negative impacts of development. An S106 agreement is intended to make a development 'acceptable' in planning terms which would otherwise be deemed as unacceptable. Obligations under Section 106 can be either financial or non-financial in nature. The Council's Section 106 Supplementary Planning Document (SPD) provides further information on how the obligations system operates.

3.2 At 30 September 2017 there were 84 individual S106 agreements in the active programme where monies had been received, containing approximately 156 heads of terms. Projects are currently being delivered using these funds. The position regarding the implementation of these S106 agreements at the end of the monitoring period is set out in Annex 1. A copy of the spreadsheet has also been placed in the Members Library. An overview of the financial information contained in Annex 1 is set out in Table 1 below.

Status	Total Amount (£)	
Opening Balance at the start of 2017/18	£6,435,015.15	
Total amount of S106 payments received	+ £373,012.29	
In year movements:		
Sub-total of outward in year movements	- £156,377.35	
Money moved to contingency	- £7,071.10	
Total amount drawn down in 2017/18	- £62,132.16	
The total amount drawn down is broken down as follows:		
Q1 Drawdown Total £62,132,16		
Q2 Drawdown Total £0.00		
Interest received to 30 September 2017	+ £19,814.16	
Closing balance at 30 September 2017	£6,609,332.09	

Table 1: Summary of S106 Funds Received and Expenditure Programmed

- 3.3 Of the £373k received during the first half of 2017/18, the vast majority of the money (almost £319k) was for Affordable Housing. This figure is lower than the first half of the previous year. By itself this is not necessarily indicative of any particular trend, although several factors may be combining to affect the fall. Of the affordable housing contributions received during the first half of the year, the largest individual payment was received from 106 Camlet Way (£211,563.59).
- 3.4 In May 2016, a change in national policy reduced the circumstances where by contributions can be sought from smaller developments of 10 or fewer units. Although the Council can still seek contributions towards affordable housing where the floorspace of the site is at least 1,000 sq m or greater, there has been a much reported slow-down in sales and drop in prices at the higher-end of the residential market. As such, fewer applications of 1,000 sq m + have been submitted in comparison with previous years and the relationship between planning and the wider economy cannot be ignored.
- 3.5 Many Section 106 agreements contain clauses which require the monies to be spent within either a 5 or 10 year window. Following the completion of this period, any unexpended funds plus the accumulated interest should be returned to the

developer. Due to the length of the timeframes for spending the monies, it is not uncommon for initial project identification to take up to a year (or slightly longer), particular where large or more complex works will be undertaken.

# 4. KEY PROJECTS FUNDED USING SECTION 106 CONTRIBUTIONS

#### Spend during Q1 and Q2

4.1 Spend during Q1 and Q2 funded various small scale highways projects, including the Wilmer Way Zebra Crossing and a pelican crossing at Bramley Road.

#### Affordable Housing

- 4.2 The London Plan requires developments to make the maximum reasonable provision for Affordable Housing. Affordable Housing should be provided on-site in the first instance, although this can be provided off-site or through an in-lieu payment in exceptional circumstances. Affordable Housing development is covered by capital spending. The contributions are used to replenish such budgets. Section 106 funds are drawn down and the various contributions are allocated to projects as part of the draw down process at the end of each financial year.
- 4.3 S106 Affordable Housing contributions were used to help fund the 38-home development at Dujardin Mews, which completed and received its first tenants during the previous financial year. Dujardin Mews was the first social housing to be directly built by the Council for over 30 years. Affordable Housing contributions have also been spent on the New Avenue scheme.

#### Local Employment and Training

4.4 As part of any Section 106 obligations, any developments which are of sufficient size and scale should make provision to use local labour and recruit apprentices at a rate of 1 apprentice per £1m per contract value. Further information on the number of apprentices recruited and the use of financial contributions received towards Employment and Skills is available from the Business and Economic Development team.

#### Highways

4.5 Work on the Ponders End stretch of Cycle Enfield began during 2017/18. There are several different routes in the programme, each of which has been allocated different Section 106 contributions (up to a maximum of 5, to comply with the pooling restrictions set out under Regulation 122 of the CIL Regulations, 2010).

#### Education

4.6 Education is covered by capital spending. Section 106 funds are drawn down and contributions are only allocated to projects at the end of each financial year.

#### 5 S106 FUNDS AGREED BUT NOT YET RECEIVED

- 5.1 In addition to the agreements where monies have been received, there are a further set of 123 agreements where contributions have been agreed and planning consents granted but funds have not yet been received. These agreements are shown in Annex 2. Should each of these planning permissions be activated, the Council could potentially receive a further £10,829,654.46
- 5.2 In these cases, the payments have not been received as the relevant 'trigger points' (i.e. stages of development) have not yet been reached. Typical 'trigger points' for receipt of payments are the commencement of development works on site, or the first occupation of the development.
- 5.3 Attention should, however, also be drawn to the fact that not all financial contributions agreed via signed S106 agreements will ultimately be received by the Council. While Section 106 of the Town and Country Planning Act 1990 allows the Local Planning Authority to require and enforce the payment and infrastructure obligations, it also contains a provision which entitles the other parties to apply to the Council to vary or delete any obligations contained in their agreement. Potential variation of the S106 can happen at any point in the process between the signing of the initial S106 agreement and completion of the development. Variation may reduce the value of, or strike out any previously agreed contributions.
- 5.4 Additionally, monies in a completed S106 agreement would not become due if the landowner/developer simply decides not to progress development after permission has been granted. In cases where a planning permission expires after its 3 year lifespan, new planning application(s) and S106 agreement(s) may supersede an earlier agreement. National policy changes can also impact on receipts, as was the case following the Court of Appeal ruling on small sites (May 2016), which resulted in contributions no longer being sought for residential proposals providing 10 or fewer units where the gross floorspace of the site does not exceed 1000 sq m.
- 5.5 In addition to the 123 agreements listed in Annex 2, an additional four agreements were completed during the first half of 2017/18. These are:
  - Alma Estate (Section 106 signed 18.08.2017)
  - Monmouth Road, Edmonton Green (planning permission granted by the Inspector following an appeal hearing on 19 July 2017, Section 106 signed 25.08.2017)
  - Trent Park (Section 106 signed 29.09.2017)
  - 6, 8 and 10 Crescent Road (Section 106 signed 30.06.2017)
- 5.6 As the signed copies of these agreements had not been received from Legal Services by 30 September, information relating to those schemes does not appear in Annex 2. These will be reflected in the end-of-year 2017/18 Section 106 Monitoring Report.
- 5.7 The Monmouth Road scheme may be of particular interest to members with an interest in Housing issues. Once the development is operational, it will be the first purpose-built "Build to Rent" (BTR) scheme in Enfield. This tenure has been promoted by Government and has featured in the national newspapers over recent months. The new draft London Plan, published in November 2017, also contains bespoke policies with the aim of growing the BTR sector.

### 6. COMMENTS OF THE DIRECTOR OF FINANCE, RESOURCES AND CUSTOMER SERVICES AND OTHER DEPARTMENTS

#### **Financial Implications**

6.1 The financial position as described in the report has been discussed with Finance staff and reflects the position as reported in the S106 monitor as of 30 September 2017. Annex 1 contains proposals for the allocation of approved S106 monies to specific work programmes. Approvals of individual schemes within the proposed programme are subject to separate reports and full financial appraisal. Expenditure incurred on these schemes will be reported as part of the regular monitoring process and drawn down from available S106 funds at year-end. Amounts committed to projects including the nature of potential expenditure have been updated following advice from officers leading on individual schemes.

#### Legal Implications

6.2 By virtue of Section 106 of the Town and Country Planning Act (as amended) the Council may secure planning obligations to make development acceptable which would otherwise not be acceptable in planning terms. Obligations must be secured in line with the Council's Section 106 SPD. Where financial contributions are required, the terms of the obligation dictate the manner in which any financial obligation held by the Council may be spent.

#### **Background Papers**

6.3 None.

# Annex 1: Total Monies Received

Hard copies will be placed in the Members library. If these are not legible, electronic copies of the spreadsheet are available from Governance Services.

## Annex 2: Agreements signed where payments have not yet been received

Hard copies will be placed in the Members library. If these are not legible, electronic copies of the spreadsheet are available from Governance Services.

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ANNEX 1	SCHEMES WHERE PAYMENTS HAVE BEEN RECEIVED																					
Developer Site address and Planning Reference	Development Description Construction of two-storey non-food retail unit with anothary uses, car parking, access works and landscaping together with employment	Date Agreement Signed	d Ward Co	Edmonton	Total financial obligation 0	bilgation Split SPEND DEADUNE - BLUE = Project Complete #ED = DEADUNE PASSED, OR APPROACHING WITHIN 12 MONTHS 20,000.00 NO DEADUNE	Details of Obligations Design and Landscaping Contribution to a size of attacks to be commissioned by the Council within the vicibity of the	Head of Service	Dept	Team	CT ACCOUNT	Balance Sheet used for year and 96913	17/18 Opening Balance - 25,710.51	IN YEAR RECEIPTS Other Movements Quarter 1 Drawdown	Quarter 2 Drawdown	Quarter 3 Quarter 4 Total Drawdowns	Interest 73.48		Capital Code Revenue Code A****** A200309	Revenue Cost Centre AB1234	Q4 Capital Drawdown Comments Details	Internal Comments
Gil Consortium Ltd 2 St. Joseph's Rd N9 BRX 19/03/2227	development (B4, 82 and 88), all inled by a new spine road. Demolition of part of existing building, and redevelopment of site to construct a part tao-slowy, part three-storey, new Primary Health	24.04.04		Edmonton	25,000.00	25,000.00 NO DEADLINE	to a peor of among to be commiscine by the cource within the vicinity of the Development Mitigating impact on street parking	Arra Jakakca	REE	117	CT0564	94928	- 25,225.74				- 78.60		A200279	850210		
Great Cambridge Industrial estate, Lincoln Rd E7 Briston Pic 03/0827	Care Cetter, incorporating a plannary and sascolited car parking.     Care Cetter, incorporating a plannary and sascolited car parking.     Demolition of existing buildings and encirclion of three blocks of 15 units for h1 B(L), (c), 82 and (c) for law, general industrial     and/or storage/distribution using (basis) of 822a and (u) and (cr). In plannary and cycle parking.	16.01.04	Jublice .	Edmonton	234,625.00	3,000.00 ND DEADLINE	contribution towards the cost or minipating the impact or on street parking Highway Contribution for improvements within the vicinity of the land	David Taylor	REC	w	CT0239	94928	- 2,859.28				· 8.88	- 2,868.16	A200325			
Generic Houring Association 289-290 Fore Street TP/08/0893	Redevelopment of all-big the exercises of 25 residential units in a gast 4, gast 5-storey block (4 s 1-bad, 17 s 2-bad, 4 s 1-bad, locarganning 20 units of all-badied beauing) with balancies to front and may, cord formers, humitoping, cycle and car parking and associated access to fore fore 20 units of all-badied balance of the store of the	07.08.08	Edmontron Graven	Edmonton	75,992.00	30,000.00 28:10.21	Conservation Area Enhancements To undertake public realm improvements in the vicinity to address tree planting, street functions, meneski, decidatering upin nationalisation, footway muraticing enhancement and access improvements. Exercition 20 of the planting exermision	Christine White	REE	HERITAGE & CONSERV	CT1291	81209	- 5,915				- 46.60	- 15726.95				
		10.11.11	Jublice	Edmantan	21,350.00	20,00.00 20.01.16	Columbia Wherf Contribution	Head of Service	REE	REGEN	CT0263	86209	- 20,428.37									
Unit 3 - 11, 12 - 23 North Sq. Edmonton Green	45 Part demoition of ground floor and amaigamation of existing ground floor retail units nos. 3-11 North Square together with a part single,	22.02.12		Edmonton	45,000.00	200100 200106 5,000.00 NO 06A0LINE	towards the enhancement of aquatic and bank habitats at Columbia Wharf Street Tree Costribution towards the provision of street trees within the vicinity of the land requires ad a		REC	REGEN	CTURES	84309	- 20400.07				- 63.36 - 15.72					
Shepping Cantrie. 19/11/1341	per12-story extension facing Hertfold Road to previde one overall retail unit (AL) comprising a total floorquace ALI. Redevelopment of site by the excitos of a single story, 2 from entry priority school with associated hard and site extensi play arress and care parking.	06.01.12	Jublice .	Edmonton	106,200.00	30,000.00 01.11.17	consequence of development CCTV to provide CCTV coverage of the boundary of the scheme including. Nightingple Ro		REC	COMMUNITY SAFETY		82612	- 34,465.51				- 106-80					
Grandvale Limited 54-56 Eim Park Road, N21 TP/05/2277	Demolition of existing garages and erection of two 2-storey semi detached houses.	27.06.07	Bush Hill Park	Edmonton	15,734.00	2,720.00 NO DEADLINE	Highways Contribution towards widening of the footway	Anna Jakakca	REC	147	C70211	96928	- 2,684.23				- 7.68	- 2,491.91	A200276	83874		
North Midds University Hospital Trust SOLD to Newlon Housing Association 79/11/0905	Redevelopment of site to provide 82 residential units (OUTLINE -AII matters reserved).	16.12.11 DoV 22.07.13		Edmonton	292,850.00	9,000.00 Within 10 years of the receipt of payment (2024 )	Employment and Training Strategy + Fee in connection with the Scheme (Schedule of the S206).	2 Ama Loughlin	REE	80	CTUBEL	94309	9,098.55				- 28.20					
North Mildle University Hospital Trust SOLD to Newlon Howing Association North Midds University Hospital Trust SOLD to Newlon Howing Association TV/11/0905	Redevilopment of site to provide 81 molemental units (DOTUNE -AI mattern reserved).  Dedevilopment of site to amode 81 molemental units (PDITINE -AII mattern reserved)	16.12.11 DeV 22.07.13 16.12.11 DeV 22.07.13		Edmonton Edmonton	292,853.00	50,000.00 Within 10 years of the receipt of payment (2024 ) 20,000.00 Within 10 years of the receipt of gavement (2024 )	Off size Highways Works Cantribution towards improvements to highways, Sostparts & cycle paths dynes (pace Cantribution to monitor impact of the FWW with time on an integrityhighway structures (act. Bull	David Taylor Matthew Watts	REC	TAT	CT0359 CT0360	84309	- 50,547.89 - 20,219.23			· · · · ·	- 196.72 - 62.64					
SOLD to Newlon Housing Association TP/11/0905	Redevelopment of context and provider at international using Doctores into context removes, Redevelopment of context and provider 4 context and 120 redevelopment and provide and 4 context and a context and the context and	22.07.13				menu se lana se na serak se halinge frans 1	Land		nas.	746.5												
Country Side Properties UK & LBE Highmend Estate at Fore St. P12-02465PLA	bed, 33 x 2-bed and 17 x 3-bed flats with balconies to front and rear and 3 blocks of 5 x 3-storey, 4-bed terraced houses with balcony at second floor new, 1 block of 6 x 3-bed part 3-storey, part 3-storey town houses with integral granges and sun terrace at second floor rear and 1 x 3-bed longh family dwelling, a 3-torey block of 188 gen of community space [[1] non neidefacted institution], velicular access to	20.03.13	Upper Edmonton	Edmonton	295,048.66	50,000.00 Within 10 years of the receipt of payment	Community Facilities Contribution for the provision of a community space to shell and core	пс	HHAASZ	BED.	CT0410	94309	- 50,256.36				- 156.00	- 50,482.36				
	Apha Road, landscaping works and 28 car parking spaces and 137 cycle parking spaces and change of use of car park at Trafalger Place from public to private parking.																					
Country Side Properties UK & LBE Highmend Estate at Fore St. PL2-02465PLA	Redevelopment of ulter to provide 4 commencial and 320 residential units (comparing a part 6-story, part 8-story block of 320 and commencial Romance (NA Iteral), 200 flows, Al Restructurat and Michingke establishmentic) argument Ross, 1-x 3-bed makanettes, 6-s 1- bed, 21 x 2-bed and 12-x 3-bed flots with Bacconies to front and rears and 3 blocks of 5-x 3-story, 4-bed formand flows with Michingke and accord Browner. 1 block of 6-2 bed most 3-store areas more a 3-backs of 5-x 3-story, 4-bed formate at anyord Browner and 3-backs.	20.03.13	Upper Edmonton	Edmonton	295,048.66	10,000.00 Within 10 years of the receipt of payment	Employment and Training Strategy and Fee towards monitoring the Employment Training Strategy by the Council	AmaLoughin	REC	BED	CT0855	84309	- 10,202.27				- 21.68	- 10,223,95				
	Rentergement of the top provide, conservation and 20 invitation that is purposed participations, part 6-larmy block of 2002 up of commends fractionage (block kit), 2007 (block characterization and Ad 6-bridge entrybuilding) of part (block -1). Sele fittisses the fittis and a select and a se																					
	Redevelopment of site to previde 4 commercial and 120 residential units (comprising a part 6-storey, part 6-storey block of 1302 spin of commercial Roopace (43 Real, A2 offices, 43 Restaurant and A4 Oriologie establishmenti) at ground Roop, 1a 2-bed musikes the Society of the store of the store of the store in the store arrow and Balacia of 5-3 storey. A sed trenden set with balacing at second Roornew, 1 Block of 6 a 2-bed part 2-storey, part 3-storey town houses with Integral garages and us terrace at second floor ner-						Jobanet contribution															
Country Side Properties UK & LBE Highmead Estate at Fore St. P12-02465PLA	and 1 x 2-bed single family dwelling, a 2-storiey diock of 190 spin of community space (U1 non-residential institutions), vencular access to Apha Road, landscaping works and 28 car parking spaces and 137 cycle parking spaces and change of use of car park at Trafalgor Place	20.03.13	Upper Edmonton	Edmonton	295,048.66	9,000.00 Within 10 years of the receipt of payment	towards Jobsnet Team to provide job brokering service to tenants of commercial units for 3 years	Anna Loughlin	REC	BED.	CT0408	94309	- 175,210.59	2,670.00		-	- 542.48	- 171,884.07				
	from public to private parking. Redevelopment of use to provide 4 commercial and 120 residential units (comprising a part 6-torrey, part 6-torrey block of 1992 upon of commercial floomaace NJ, Bratal, A2 offices, A3 Returnate and A4 Orivier exabilityments) at mound floor. 3 a 3-bed mails neetine, 46 a 1-																					
Country Side Properties UK & LBE Highmend Estate at Fore St. P12-02465PLA	commercial Roopser (A) Exect A office, Al Statuscent and Ald Stridge actiliation and any proof Exect 3-1-3 deministering, 6-5 +1 ber (T) a 5-2 dec of (T) and (T) leaded Theorems, Tables of (F) and (T) and (T) and (T) a 2-2-ariset gives a string of (T) and (T) and (T) a 2-2-ariset gives a string of (T) and (T)	20.03.13	Upper Edmonton	Edmonton	295,048.66	50,000.00 Within 10 years of the receipt of payment	Open Space towards improvements and maintenance of St Johns Open Space	Matthew Watts	REE	PARKS	C10356	94309	- 51,011.50			-	- 158.16	- 51,169.66				
	Apha Road, landscaping works and 28 car pasking spaces and 1372-yolo parking spaces and change of use of car park at Trafsiger Places from public to private parking. Redevelopment of the to provide 4 commercial and 20 redeketail units icomprising a part 6-storey, part 8-storey block of 3082-spin of																					
Country Side Properties LK & LBE Highmead State at Fore St. P12-02465PLA	commercial floonpace (A1 Retail, A2 offices, A3 Restaurant and A4 Drinking establishments) at ground floor, 3 x 3-bed makaoestee, 45 x 1- bed, 33 x 3-bed and 13 x 3-bed flats with balconies to front and near and 3 blocks of 5 x 3-storey, 4-bed termiced houses with balcony at second floormar, 1 block of 6 x 3-bed part 3-storey, part 3-storey house swith integral granges and on termice at second floor near	20.03.13	Upper Edmonton	Edmonton	295,048.66	30,000.00 With 10 yrs of date of payment (21.11.23)	Public Art Contribution towards the provision of public art within 200m of the boundaries of the Upper Edmonton District Centre	Paul Events	REE	CULTURAL SERVICES	CT0257	84309	- 30,626.83			-	- 94.92	- 30,701.75				
	and 1x 2-bed slight family dealing, a 3-storey block of 180 spin of community pases (Di non-misionial institution), whice are access to Alpha Read, landscaping works and 28 car parking spaces and 210 cycle parking pases and change of use of car park at Trahsign Place from public to private parking.						REPORTED BEING CHILDY															
	Redevelopment of vite to provide 4 commercial and 120 residential units (comprising a part 6-storey, part 8-storey block of 3392 sam of commercial floonpace (4) Reteal, A2 offices, A3 Restaurant and A4 Diriviling establishment) at ground floor, 1 x 3-bad maintoenter, 65 x 1- bad, 31 x 2-bad and 17 x 3-bad flues with blaccions in front and rear and 3 block of 5 x 1-bady, 4-bad terraced houses with blaccion y at																					
Country Side Properties UK & LBE Highmend Estate at Fore SL P12-02465PLA	bed, 31 × 2 ang and 17 × 3 bed that with biliconies to from and raws and 3 block of 5 × 3 earny. 6 Ander termeech house with bilicony at second floor new, 1 block of 6 × 3 bed rations, part 3 earny block of 31 billing parages and use terme at and 1 × 2 bed optimally densing a x earny block of 310 and community space (10 commodershill instruction), which are exercised Alpha Read, landscape works and 21 corparing part 2 earns and 217 cycle parking core-and change of use of car parts at Tradinge Place tron park to parts and parts and 21 corparing parts and 217 cycle parking core-and change of use of car parts at Tradinge Place tron parks to parts and parts and 21 corparing parts and 217 cycle parking parts and the part of the parts at Tradinge Place tron parks to parts and parts and 21 corparing parts and 217 cycle parking parts at the	20.03.13	Upper Edmonton	Edmonton	295,048.66	103,673.66 Within 30 years of the receipt of payment ( Rec'd Dec 2013 )	INGHILATS	David Taylor	REE	167	C10354	84309	- 75,272.84			-	- 233.40	- 75,586.24	A200368			
	Redevelopment of uite to provide 4 commercial and 120 residential units (comprising a part 6-story, part 8-story block of 3092 spn of commercial floorance (4) Bantal 42 offices 43 Destaurest and 44 Division attabilityments in encodings 7 x 3-bed malocattar 45 x 1-		+ +				Car Club Contribution															
Country Side Properties UK & LBE Highmend Estate at Fore St. P12-02NESPLA	bed, 33 x 3-bed and 17 x 3-bed flats with balconies to front and rear and 3 blocks of 5 x 3-tonry, 4-bed tensiced houses with balcony at second floor new, 1 block of 6 x 3-bed part 3-tonry, part 3-tonry town houses with integral granges and sun tension second floor rear and 1 x 3-bed unief brink dwellims, a 3-tonry block of 180 area of community second (10 non-neidental) instructions, tension to and 1 x 3-bed unief brink dwellims, a 3-tonry block of 180 area of community second (10 non-neidental) instructions, tension to the second	20.03.13	Upper Edmonton	Edmonton	395,048.46	10,000.00 Within 32 years of the receipt of payment ( Rec'd Dec 2013 )	Car Club Contribution payable to Zipcar, to enable Zipcar to help provide a Car Club for the benefit of Residents and non-Residents.	Anna Jakacka	RBC	nar	CT0804	84309	- 2,020.11				- 6.24	- 2,026.26				
	Apha Read, landcaping works and 38 car parking spaces and 327 cycle purifying uncess and change of use of car parks at Trafinger Place from public to private parking. Development of ele to provide 3 blocks of 15 industrial units for 313, 812, 62 and 88 use (7 units incorporating mezzantee effice space), a S		+																			
SEGRO Industrial Extates Limited Land at Advent Way (Former Reality Ste) Londs N 18 JAH P12-02655PLA	<ul> <li>storey, 66-bed Hotel (12: use) with netaurant, bar and conference room to ground floor, new access netageness from Advect.</li> <li>Way, associated car parking 2-km high palades fences to boundary with sliding and using gates to commercial units and dop barrier to Hotel and suscitate fundacianing, lighting, plant and equipment and associated works.</li> </ul>	18.08.13	Edmonton Green	Edmonton	102,352.00	15,000.00 Within 10 years of the receipt of payment	Footpath Contribution towards the cost of securing a footpath link to Meridian Way	Dominic Millen	REC	76.7	CT0864	84309	- 15,419.51				- 47.76	- 15,467.27				
SEGRO Industrial Estates Limited Land at Advent Way (Former Reality Sho) London N 38 July P22 032559LA	Development of rite to provide 1 blocks of 15 inductivil with for 810, 814, 82 and 88 eer (7 with incorporating meanative office quare), a 5- stores, 65-bad histol (21 as) with metaurant, bar and conference reson to grower flow, new access rade, access and degrees from Advert Way, associated or praving 2. Am high particles hows to about your withing and wing given commercial with an ad oup barrier to Retent and associated landscopies, [lefting, plant and explorent and succiated works.	18.08.13	Edmonton Green	Edmonton	102,352.00	10,000.00 Within 10 years of the receipt of payment	Greenways Costribution towards the cost of providing and maintaining non-motorised noates (for pedestrians, joggens, cyclicits and where chair users for bealth, nor, leisure and local journeys) and improvements to access at Angel 84 92	Eddle Gomer	REC	w	CT0866	84209	- 20,219.23			-	- 62.64	- 20281.87				
Land at Advent Way (Former Reality Site) Londs	ikini and associated undruging, lighting, juint and equipment and associated works. Development of site to growide 3 blocks of 15 industrial waits for 812, k12, k12 and 88 we // units locopoorting measuries effice space), a 5- a torong, 65-beil k12 k12 will will waitaurust, the and conference ments target flocor, we waice small access and agrees from Advent						Landscape Contribution															
SEGRO Industrial Extent Limited Land at Advent way (Anter Awards Sale) Land N 18 Jan P12-02055PLA		18.08.13	Edmonton Green	Edmonton	102,352.00	10,000.00 Within 10 years of the receipt of payment	towards the cost of improving the landscape planting and biodiversity in the vicinit of the development	r Matt Watts	REC	PARKS	C10865	84309	- 10,109.55				- 21.32	- 20,340.87				
	Single story intensists to good, balls contrate a call and inglocement data to south and elevation, construction of one statest enternormal to such seat elevations and new values relations to anoth seat elevation, charabistica to Lanzing Barauccu Reins comprising may depend and cadeding, mexanion for comprising 2 additional classroomen, reglacement existedines to more seat elevation of mask building and splacent cadeding neuration for strong 2 additional classroomen, reglacement existeding neurational class to the strong term with the subject to classification entrance, services of 2 fiber strong classroomed section of mask the strong term with the sections of sections of the strong classrooment of the strong classroomed section of the strong term of the section of masks the section of the strong classrooment of the strong classroomed section of the strong classrooment of the strong classroomen																					
London Academies Enterprise Trust London No BIO(P12-01255FJA	splores studes retraces, restored a 71me-standing courses is suited of mish building new artificial goots just together with the provision of 10 download building courses around the infercing provision and additional new or probating genesis long its accurational data Tantin Back, elemento of car parket areas across estem the subandhr of pablic open papers together with alteration to layout of north had used to car parks, encirculation of an advantation of the subandhr of pablic open papers areas on that disports to the sub- grand areas within open space areas, granulation of comparison to the subandhr of the subandhr panel advantation and the sub- traction (advantation and advantation) and the subandhr of the subandhr and the subandhr to the Advandhr from 2, subandhr subandhr advantation and the subandhr to advantation and the subandhr advantation and the structure is the Advandhr from 2, subandhr to advandhr from 2, advandhr from 2, advandhr from 2, advandhr from advandhr advandhr from advantation and the subandhr to advandhr from 2, advandhr from advandhr from advantation advantatio	12.02.2013	Jublice	Edmonton No	iot exceeing £15,000 Not ex	weding £15,000 NO DEADLINE	Lighting for the provision of sufficient lighting for the footpathto inlcude 24,400 for the lon term maintenance of the installed lighting referred to in para 5.2 List he agreement	E Richard Rooth	REC	167	CT0396	94309	- 5,872.51				- 15.72	- 5,088.23	A200411			
	tion of y and construction we statisticate with the second statistication of the second statistication						term maintenance of the instance option internet to in para 3.2 but he agreement															
	Convention of existing pump house to provide ill residential units comprising 4 houses (2 x 3-bed and 2 x 2-bed) and 4 flats (2 x 3-bed and 1 x																					
Knightspur Homes Ltd Pumping Station at Hadley Rd EN2 BLA TP/10/18	22-bed (together with conversion of basement to provide 4 parking spaces and 1 parage with access ramp and conversion of existing detached workshop and coal store to a 2-bed single family dwelling and 6 car ports involving a single storey side extension.	07.12.11	Chase D	afield North	269,659.80	1,000.00 17.10.17	Highways Fee and Cost of Works TaC TLRN Payment	David Cowan	REE	167	CT0832	\$4209	- 3,015.98				- 9.36	- 3,025.34	A200324 A200363			
TWU Innova Park. 94/0285	Redevelopment of labe by the creation of businesu/science park including land decontamination, the construction of new highway accesses off Molilian Avenue, the erection of buildings, the creation of widdle habitats, the development of open space and landscaping (suffixe).	07.12.02 28.04.05 11.09.07	EnfieldLock E	afield North	984,444.00	10,000.00 06.02.13	for the TLRN study which is a study of the operation of the ASD/Bullmoor Lane junction and its interaction with the ASD/NDS junction in order to identify possible improvements to the junction.	David Taylor	REE	w	C70219	94309	- 10,809.41			-	- 22.46	- 10,842.89	A200337			
TWU Insore Park. 94/0281	Redevelopment of site by the creation of basinesu/science park including land decontamination, the construction of new highway accesses off Molissan Avenue, the election of basings, the creation of widdle habitats, the development of open space and and scaping (sufficient)	07.12.02 28.04.05 11.09.07	Enfield Lock D	afield North	984,444.00	110,000.00 21.09.13	Public Transport for improvements to the bus services and public transport facilities serving innova Pack	David Taylor	REE	w	CT0220	84309	- 327.69				- 0.96	- 228.65	A200241 to be closed A200361			
TWU Innova Park. 54/0311	Redevelopment of site by the creation of buildness/science park including land decontamination, the construction of new log/way accesses of Molitan Avenue, the etection of buildings, the creation of weldlife buildins, the development of open space and instruciping (satilitie).	07.12.02 28.04.05 11.09.07	Enfield Lock B	afield North	984,444.00	200,000.00 01.01.00	Amelianation Works for highways improvements proposed by the Council as the local highway authority in order to ease the flow o improve the safety of traffic (including predestrians) to and from innova Park	David Taylor	REE	w	CT0042	94911	- 177,090.89	21,630.05		21,030.05	- 270.64	- 116,421.48	A200204			
Gazeley Properties and Delta PLC Delta works site, Millmarch Larre, Enfield 99(0560 02)0520	Redwelopment of site for Bij() (busines), 82 (general industrial) and 88 (storage/distribution) uars. (Dutling).	01.05.00	Exterid Hetway P	afield North	125,000.00	100,000.00 Term of 25 year leave	Riverside Walk Maintenance towards the cost of repairs and maintenance of the Riverside Walk works	Andy Bell/Karen	REE	w	CTBLDS	94918	- 140,329.68				- 435.00	- 140,774.68				
And Provide Lind Provide Lind Strayfield Works	Redevelopment of last for using paulowals, au general naturals nat wai (oznage) controlation ( sake. ( ubanes) Redevelopment of existing factory buildings by the exection of 12 houses. (Duttine)	12.02.99	Limid Hghuay		230,000.00		towards the cost of repain and mantenance of the exercise wask work. Public Amenity Contribution to secure future maintenance of the Public Amenity Land	Andy Bell/Karen Maguite	REE	PARKS	CT0109	94928	- 46,524.37				- 154.80					
National Westminister Bank Pic T9/42/5421		1.2.9	Chase *		200000	25,000.00 NO DEADLINE	Controlation to secure values mananace or the Adda Amenity Land Children's Ruy Guijament for the provision of new equipment within existing children's play area in the vicinit of the size	Lonetta Hoy	KEA	PAGS	Citat							- augur 5.17				
Land adj. Turkey 2 Station EN2 STT Service Houses 02/1579	Redevelopment of site by the exection of (22 x two-bed flats, 12 x core-bed flats in 3 and 4-storey blocks, 12 x four-bed, 2-storey houses and 8 x three-bed, 2-storey houses affortable units with associated access and car parking.	15.04.04	Turkey Street D	afield North	230,500.00	54,000.00 NO DEADUNE		Loretta Hoy	REE	PARKS	CT0146	94918	- 24.96				- 0.12	- 25.08	A200356			
Romone Laxenbury BOE S65 Properties UK Limited TP/55/10443	2 Redevelopment of site for moderical purposes. (Durline application)	25.04.05	Highlands D	afield North	52,000.00	18,000.00 NO DEADLINE	Affordable Housing [24 unb1] Parking Contribution towards cost of parking, surveys, preparing a preliminary design and consulting on	David Taylor	REC		CT0209	94918	- 2,529.38					2,529.38 -	A200287 A200373	152074		
	senseering on on an environmentaliserine. Domain alternated		ingratur -				extending CP2 in Enfield Town Highways Contribution	une ajo	has	-									A200372			
5 85A Cld Park road Enfaid Magnacrest Ltd Helicak AKG 0(/1889 05/1730	Redwelopment by the erection of a three storey block of 22 x 2 bedroom and 1x2 bedroom flats, vehicular access and basement parking.	17.02.05	Highlands D	afield North	25,000.00	25,000.00 Sch antivenary of the first occupation (Sept 07) September 2012	towards off site works to improve the highway in the vicinity of the land	David Cowan	REE	167	CT0180	94309	- 14,840.14				- 45.96	- 14,886.10	A200282 To be closed	652000		
56/1733 59, Lockfield Avenue, EN1 CDS Ltd 00/1460 ENRILD HEAVENAN	Redevelopment of site by the demolition of existing industrial unit and erection of new data centre (\$2 use).	02.09.01	Enfield Highway D	Infield North	20,000.00	20,000.00 NO DEADUNE	Green Transport Contribution Towards the promotion of Green Transport initiatives within the vicinity of the site and Britmidown business area	Andybell	REE	EC DEV	C70005	94918	- 14,629.61			-	- 6.5	- 14,674.97				
Gazeley Properties Ltd Relating to G Park (Former ESAB) Mollison aven Size Linked to TP/D4/D488. TP/10/1254	Evection of 3 building to provide a combined home deliveries (dor core) and express distribution centre (BB) with associated whickar maintenance building got house, which fuelling and washing fucilitys, was not out 17 parking, indicating service and, combined heading and power (hold pick and wascinder literationaries (hockading within each, super boaw, which hower, Nut tracks, compacter and back-up generatory, with access to staff parking from Heartord Raad and whickair access to service areas from Mallion hower.	23.11.10	EnfieldLock D	afield North	128,777.00	20,000.00 NO DEADUNE	Cycle Way towards implementation of sections of the greenways cycle scheme	Jonathan Goodion	REE	w	CT2042	94928	- 20,492.74				- 6.4	- 20,556.22				
Gazeley Properties Ltd Relating to G Park (Former ESAB) Molilaon aven	Perstain of 2 haufuling to provide a contribute frame deliveries on an experiment distribution centre (BB) with associated write/later maintenance haufung parts house, which is halling and washing facilities, sunand staff particip, landscaping, writer and, and contribute haufung and power (big) parties and associate frameworks (big) particular testing and particip and the start and sociated informations (big) particular participation and and the start and the	23.11.10	DrifeldLock D	afield North	128,777.00	15,000.00 NO DEADUNE	Public Transport Contribution towards the installation or improvement of bus waiting facilities	David Taylor	REC		CT2040	94928	- 15,369.65				- 0.4	- 15,417.29				
Gazewy Properties Ltd Site Linked to TP/D4/D448. TP/10/1254	compactor and back-up generatory, with access to staff parking from Hettford Road and whicular access to service area from Molikon Average. Deenvilloon of existing hubbles and mixed road access of next 2 ± 4 and 5 strongs hubbles to remain 120 residential units.	49.44.10	-meducok B			NUDHADINE			NBA	-			,807.85				47.94	- 1,41/29				
Land to the Rear of 453 Southary Road, Enflet Kitewood Estates List and Long & DR3 448 Somewille 1906/1912 SOUTHBURY	[compring 41 x1 bed, 74x 2 bed and 01x 1 bed; together with 448 m 2 or trail (Daw. Al), public and private among open space, children's play area, provision of surface and under croft parking for 85 spaces with through vehicular access from Kingsway to Emilia Cose. NOTE: Append eccision reduced number of dwellings to 122 (compring 34 x 1 bed, 55 x 2 bed and 24 x 1 bed). All units are	25.06.07	Ponders End E	infield North	276,136.00	25,000.00 12,02.15	Environmental & Highway Contribution towards environmental and highways improvements in the vicinity of the site	David Taylor	REE	w	C70813	84309	- 23,445.78				- 72.72	- 23,518.50				
Bénheim Reality Bénheim Seality Divid Controld, Divid SQD T7/10/0286	affordable houdow. Redevelopment of oles to provide 8 moleculariation houdow (2 to 2 bod of 2 to 2 bod of 2 a 2 bod, 2 block of 5 a 2 bod tensoed houses invalving the developion of Borng Dine, developiona and alternations to rand of number BC, new detached garage to number BC, new vehicular access to Chest Drive with suscitated periorg.	10.12.10	Turkey Street D	infield North	62,377.00	25,000.00 NO DEADUNE	Open Space Contribution for improving open spaces and or play spaces within vicinity of the land	Lonetta Hoy		PARKS	C10285	84309	- 1,812.90				· 5.64	- 1,808.54				
INIA SQD TY/15/0286	Construction of 191 residential units involving conversion and extension of New River House (block A) by the erection of a side extension to east elevation at 4th storey level and above, together with construction of three additional floors to total 13 stories providing 64 units and						Transport Contribution															
1-5 Coleman Pande and New Xiver House, Ga Liongate Properties Coleman Parade, 6-14 Southbury Road DN1 IY TP/06/1430 SOUTHBURY	erection of 5 additional floors to total 6 doins growling. 24 a 2-bed using together with installation of new shap heres to grown floar commercial using additional to the New Floar International Toro floar and and the using erection of 8-betto New more Block Q comprising 77 usin (B 1 a 2-bed), which are parking on grown and to its floar level what bit floar vehicular access to New Floar Floars, contractions of using additions to new and parking on a sharedist of epering.	17.10.07	Southbury D	afield North	257,000.00	40,000.00 13.02.17	to upgrade bus stops located on Southbury Road adjacent to the land Afforstable Housing (38 units socially rested & 18 units intermediate)	David Taylor		nar	CT02H	84309	- 46,738.10				- 144.84	- 46,882.94				
LBE & Legal & General Assurance Society Former car park 57 stockingswater Lane DN2 79 Limited TP/00/0028 DNRELD HGHWAY	H Erection of single unit for use within Clauses #3(c) (bight industrial), 82 (general industrial) and 88 (storage,distribution), with ancillary office accommodition, associated loading bays, parking and access to Milmarch Laree via Defa works.	18.05.09	Enfield Highway D	afield North	130,000.00	110,000.00 21.05.17	Riverside Walk Provision or improvement of the riverside walk adjacent to the land an associates landcaraine	f Andyliel	EC DEV	ECDEV	CT0917	10612	- 40,201.98				- 133.56	- 41,225.54				
Origin Housing Ltd 18 Britinsdown Avenue Enfield EN3 5H2, 54/04856/PUL	Accumulation of a model of the second of the	23.09.2015	Brimsburn B		64,165.86 64,165.86	13,986.00 NO DEADLINE 46,629.58 NO DEADLINE	Landscaping Cycle Facilities Contribution	David Taylor	Cycle Facilities Contribution	16.7		84209	- 54,537.86 - 46,792.28				- 41.56	- 14,081.42				
Drigin Housing Lid 18 Britmidown Awnue Triffeld KH3 SH2, 54(20454/Tul) Drigin Housing Limited and Origin Properties Limited 19 Gilbert Street, Cafelol, ENG 690 TH/06/1530	asseveragement or use to prevale a s-story policy at 1 and conflicted rate p a 1 and, Lit 2 deal at a s-dang web sections to more Andrewolgneet of site to prevale a s-story policy at 1 and at a section and at a section at a s-dang web section to more particular and and associated inducating	23.09.2015	Brimsbuen D	afield North	64,165.86	46,629.58 NO DEADUNE 50,000.00 24.05.16	Education Contribution Highways Contribution for consulting upon and providing a dedicated shared surface at one level at the	Keth Rowley David Cowan	Education Contribution	100	CT069	94209	- 46,792.28 - 46,891.27				· 145.08		A200405			
Origin Hossing Limited and Origin Properties Limited Properties Limited 19 Gibert Street, Enfield, ENX 690 TP/06/1528	parking spaces, the accent trace and an accent trace and accent and an accent and an accent and an accent and an accent and accent and accent and accent accentaccent accent accent accent accent accentaccent accen	08.12.10	Turkey Street D	afield North	303,329.00	32,000.00 24.05.16	Hertford Ad/Gibert & Junction Open Space/Play space Contribution towards the Improvement or provision of open space/play space facilities within	Matthew Watts	REE	PARKS	CT10273	\$4205	- 10,858.34				- 22.96	- 10,992.30	A200380 A200357			
Drigin Housing Limited and Origin Properties Limited 19 Gibert Street, Enfeld, ENX 6FO TP/D0/1526	particing spectra (see a series in sub-associated a strandard and spectra). Redevelopment of site to provide G2 molectures instruction provides and fairs and tensors thouses together with 62 car particing spectra, was access run and and associated fairst participation.	08.12.10	Turkey Street D	infield North	303,329.00	15,000.00 24.06.16	the Borough requires as a consequence of the development Railing improvements towards railing improvements in the sciently of the land	Trevor Pennel	REE	w	CT0274	84309	- 20,409.60				- 32.28		A200407			
Origin Housing Limited and Origin Properties Limited 19 Gibert Street, Enfeld, ENA GPD TP/08/1528	Redevelopment of site to provide 62 residential units comprising 3 and 2 stowy blocks of flats and terraced houses together with 62 car parking spaces, new access road and associated landscaping.	08.12.10		infield North	303,329.00	70,000.00 24.06.16	towards raining impowers in the voting of the and Traffic Calming Scheme for identifying consulting and implementing a traffic calming scheme within the vicinity	David Cowan	REC	w	CT10272	84329	- 63,561.77				- 197.04		A200406			
Origin Housing Limited and Origin Properties Limited 19 Gilbert Street, Enfield, EN2 GPD TP/DR/1528	Redevelopment of site to provide G2 residential units comprising 3 and 2 stomy blocks of flats and tensord houses together with G2 car parking spaces, new access read and associated landscaping.	08.12.10	Turkey Street D	infield North	303,329.00	5,000.00 24.06.16	Waiting Restrictions Afforstable Housing (22 units)	David Taylor	REC	тал	CT0275	84309	- 1,622.40				· 11.28	- 1,634,68	A200408			
Cubit School Trust 1-3 Patield Way P12 013091A Cubit School Trust 5-3 Patield Way P12 013091A	Exection of a temporary building to form a temporary ortnary whose (Elaws Dil to accommodate us to 25 children Exection of a temporary building to form a temporary primary school (Elaws Dil) to accommodate up to 25 children	54.08.12 54.08.12	Turkey Street D	nfield North	7,000.00	4,500.00 NO DEADUNE	Waiting Restrictions in moment of the cost of ompirion hu the Council of ommerting a traffic	ChristGouth	REE	147 147	CT0336 CT0340	84209	- 1,76540 - 1,825.76				5.64	- 1,831.40	A200348 A200348			
							management order to implement appropriate waiting metricitions within the uichit of the Development and necessary signage. Fearchiel Contribution															+
Ossis Community Learning Limited Innova Business Park 4 Konte: Crescent INI 2 X TP/11/1650 Johnson Matthey R.c. 23, 857961785, CM 2010 PJ2- C02002PJA	<sup>n</sup> Change of use of part ground floor from offices to an increasion and training centre for The Casik Academy. Enction of a two-storey detached analytical laboratory building to usuft of view with a furnace and estruct flues to approx. Insight of 22m.	29.07.12		nfield North	20,475.00	19,500.00 Syears from the date of receipt (04.10.18) 2,000.00 ND DEADLINE	towards the provision of a pedestrian crossing by way of a number of items specified in the Definitions section of the agreement. Greenway Crossing Fee	Dominic Millen Jonathan Goodson	REE	ur ur	CTI2HS CTI2HS	84309	- 20,258.91 - 2,022.01				- 62.76 - 6.24					
						MUNE				-												
Nottinghill Home Ownership Limited Relating to the development of Casterhatch Las Depot 7 Melling Drive P13-01273PLA	Resolutions and the second se	25.10.13 DeV 15.12.14	Chase D	nfield North	755,000.00	664,000.00 Within 10 years of the receipt of payment (12.02.2034)	Education Contribution to provide educational facilities within Enfeld as a consequence of the development	Ketch Rowley	945		CT0632	84209	- 1,625.40				- 4.92	- 1,630.32				
	associated refuse store, car and cycle parking, associated landscaping and highway works. Redevelopment of site for residential purposes to provide ISD molectial units involving demolitors of existing buildings and renction of Xi will contained units in the 4-storey libeck comprising Black X, K (ar 1-band and X-2-2-band, Black B) (ar 1-band bed and K-2-2-band, Black K) (ar 1-band -2-2-band, Black X) (ar 1-band and X-2-2-band, Black X) (ar 1-band bed and K-2-2-band, Black K) (ar 1-band -2-2-band, Black X) (ar 1-band -2-2-band, Black X) (ar 1-band -2-2-band and K-2-band and K-2-band -2-2-band (ar 1-band -2-2-band -2-		+ +								+ +											
Nottinghill Home Ownership Limited Relating to the development of Casterhatch Las Depot 7 Melling Drive P13-01273PLA	Let consider units in the 4-tending docts comparing duck or, bit 3-beit and all 2-beit, and constraints and an 2-beit and 2-beit	25.10.13 DeV 15.12.14	Chase D	nfield North	755,000.00	10,000.00 Within 10 years of the receipt of payment (12.02.2034)	Highways & Greenways Contribution	Jonathan Goodeon	REC	w	CT040	84209	- 10,129.55				- 31.32	- 50,340.87				
	Redevelopment of site for residential purposes to provide 150 residential units involving demolition of existing buildings and erection of 76		+ +																			
Nottinghill Home Ownership Limited Relating to the development of Casterbatch Las Depot 7 Melling Drive 913-01273PLA	with contrained urbin the 4-tomy litchic comparing Black A. (II = 1 had und 20 > 2 had, Black B. (S = 1 had und 20 > 2 had, Black D. (D = 1 had und 20 > 2 had, Black D. (D = 1 had und 20 > 2 had und 1 > 2 had und 20 > 2 had und 1 > 2 had und 20 > 2 had und 1 > 2 had und 20 > 2 had und 21 + 2 had und 21 > 2 had und 21 +	25.10.13 DeV 15.12.14	Chase &	nfield North	755,000.00	20,000.00 Within 10 years of the receipt of payment (12.02.2024)	Play Space Contribution to provide additional offsite play space in the Borough of Enfield as a result of the development	Lonetta Hoy	REE	PARKS	стана	84309	- 20,122.46				- 62.40	- 20,384.86				
The Rifles PH 600, Ordnance Road, Bland and Generative Bland, Lind and Concernment Bland, United Sendweil Ltd Transformer The Decomposition		15.05.06	DiffeldLock D	afield North	86,000.00	50,000.00 NO DEADUNE	Environmental Contribution	Lonetta Hoy	REE	PARKS	CTUBBL	\$4305	- 49,604.77				- 19.72	- 48,758.49	A200376			-
Seedwell Ltd Covernment Product United Rese, Griefen Seedwell Ltd Exp(2012) 10(2) 1	terrace of eight 2 be2-story house; erection of a terrace of the x2 be2-story houses and erection of a detached 2-story 4-bed house.	15.05.06 06.05.11	-meducok B		-Aparte de	NUDWADINE	towards general endronmental improvements in the vicinity of the land	whetankoy	NBA	79605			~s(801.7)				446.72	- ei,58.69	A00/A			

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| Ker Project inwestment Ltd<br>Ker Project inwestment Ltd<br>Ker Project inwestment Ltd<br>Kier Project inwestment Ltd  |   
   
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| Ker Project Investment Ltd   | Isoner Cines - Seven brusing sites  
   
  | Erection of 18 residential units in 2 blocks   | 17.09.14  | Turkey Szreet Enfield Nor<br>Turkey Szreet Enfield Nor  |   
   | 5,638.80   | Within 5 years of receiving payment<br>(Nov 2029)<br>Within 5 years of receiving payment   | Childcare Contribution<br>Helways Contribution later commental  | K. Rowley<br>Jonathan Goodson   | TIC<br>RAG  
   | 78C<br>787  | CT0620<br>CT0280   | 94329 -<br>94329 -   | 5,675.02  |           |   | - 17.54<br>- 221.32   
  | - 5,602.66<br>- 107,200.62  | A200392  |        |  |
| Ker Project Investment Ltd   | P13-02590LBE  
   
  | Erection of 18 residential units in 2 blocks<br>Erection of 29 residential units in 4 blocks   | 17.09.14  | Turkey Street Enfield Non<br>Town Enfield Non   |   
   | angharan   | (Nov 20291   |   | Jonathan Goodion  | REE   
   | 747   | CTERRE   | 84309 -  | 60,890.95   | 32,832.00 |   | 32,032.00 - 106.06  
  | - 28,964.92   | A200393  |        |  |
|  |   
   
  | Erection of 29 residential units in 4 blocks   | 17.09.14  | Town Enfield Nor  |   
   |  | (Nov 2009)<br>Within 5 years of receiving payment<br>(Nov 2009)<br>Within 5 years of receiving payment   | Childrary Contribution  | K. Rowley   | 16  
   | nc  | CT0478   | 86329  | 11,698.61   |           |   | · * 36.34   
  | - 11,734.85   |  |        |  |
| Ker Project Investment Ltd   | Forty Hill - Seven Housing Stes<br>P13-02587LBE<br>Holtwhites Hill - Seven Housing Stes   
   
  | Demolition of existing building and erection of Iz block of 9 residential units Erection of 2 blocks of residential units  | 17.09.14  | Chase Enfield Nor<br>Town Enfield Nor   |   
   |  | (Nov 2009)<br>Within 5 years of receiving payment  | Highways Contribution (See notes)<br>Highways Contribution (see comments)   | Jonathan Goodeon  | 882   
   | 76.7  | CT0392<br>CT0393   | 94329 ·  | 9,900.52<br>25,205.01   |           |   | 30.72<br>- 78.12  
  | - 9,831.24<br>- 25,283.13   | A200394<br>A200395   |        |  |
| Kier Project Investment Ltd  | P12-02560LE<br>Holtwhites HE - Seven Housing Stes<br>P12-025660LE   
   
  | Erection of 2 blocks of residential units  | 17.09.14  | Town Enfield Nor  |   
   |  | (Nov 2009)<br>Within 5 years of receiving payment<br>(Nov 2009)  | Play Equipment Contribution   | Lonetta Hoy   | 885   
   | PARKS   | CT0479   | 94309  | 4,516.64  |           |   | 34.04   
  | - 4,530.68  |  |        |  |
| Ker Project Investment Ltd   | Holtwhites Hill - Seven Housing Sites<br>P13-02586PLE   
   
  | Erection of 3 blocks of residential units  | 17.09.14  | Town Enfield Nor  | nh 51,947.82  
   | 22,647.82  | Within 5 years of receiving payment<br>(Nov 2009)  | Education Contribution<br>as a contribution to the provision of affordable housing in Enfield required as a<br>consequence of development   | Keth Rowley   | sacs  
   | 650   | CT0476   | 94329  | 22,530.96   |           |   | 68.34   
  | - 22,600.80   |  |        |  |
| Ker Project Investment Ltd   | Lavender Hill - Seven Housing Stes.<br>P12-02582015<br>Lavender Hill - Seven Housing Stes.  
   
  | Erection of Ex residential block containing 12 flats   | 17.09.14  | Highlands Enfield Nor   |   
   | 16,011.90  | Within 5 years of receiving payment<br>(Nov 2028)<br>Within 5 years of receiving payment   | Childcare contribution  | Keith Rowley  | 9805  
   | 650   | CT5636   | 94309 -  | 2,339.48  |           |   | - 7.20  
  | - 2,346.68  |  |        |  |
| Ker Project Investment Ltd   | P13-02583PLE<br>Lavender Hill - Seven Housing Stes  
   
  | Erection of 1x residential block containing 12 flats Erection of 1x residential block containing 12 flats  | 17.09.14  | Highlands Enfield Nor<br>Highlands Enfield Nor  |   
   | 12,209.00  | (Nov 2009)<br>Within 5 years of receiving payment  | CCTV Contribution<br>Highways Contribution (see comments)   | Ran Garther<br>Jonathan Goodeon   | REE   
   | COMMUNITY SAFETY<br>T&T   | CT0297<br>CT0294   | 94329 -<br>94329 -   | 12,309.10   |           |   | - 215<br>- 15   
  | - 12,347.26<br>- 2,629.48   | A200390<br>A200391   |        |  |
| Ker Project Investment Ltd   | P12-02583PLE<br>St. George's Road - Seven Housing Sites<br>P12-0258PLE<br>Tudor Crescent - Seven Housing Sites  
   
  | Erection of 1x residential block containing 3 x 4 bed homes  | 17.09.14  | Town Enfield Nor  | rds 42725.93  
   | 8,500.00   | (Nov 2009)<br>Within 5 years of nocelling payment<br>(Nov 2009)<br>Within 5 years of nocelling payment   | Highways Contribution (see comments)  | ionathan Goodeon  | REE   
   | 767   | CT128/5  | 84309  | 8,569.69  |           |   | 26.52   
  | - 8,596.21  | A200316  |        |  |
| Kier Project Investment Ltd  | P13-02589 LBE<br>Tudor Crescent - Seven Housing Stee  
   
  | Erection of 15 residential units in 2 blocks<br>Erection of 15 residential units in 2 blocks   | 17.09.14  | Chase Enfield Nor<br>Chase Enfield Nor  |   
   | 5,654.42<br>28,525.00  | (Nov 2009 )<br>Within 5 years of receiving payment   | Childcare Contribution<br>Highways Contribution (see comments)  | K. Rowley<br>Jonathan Goodson   | SBCS<br>RBE   
   | 150<br>787  | CT0435<br>CT0396   | 94329 -<br>94329 -   | 5,457.96  | <br>      |   | 17.04   
  | - 5,515.00<br>- 28,848.20   | A200397  |        |  |
| Ker Project Investment Ltd   | P13-02589186  
   
  | Use of existing school site and existing school buildings for an all through school (20 place Nursery, 265 Primary School, 665 Secondary   | 17-18-14  | Crase Lifeed Nor  |   
   | 10,023.00  | (Nov 2003)   |   | Jonathan Goodian  | Kilan   
   |   | Class  | -  | 2,000   |           |   |   
  | - 20,000.20   | Autor  |        |  |
| ARK Schools  | S2 Bell Lane ENG 75A<br>P13-03220PLA  
   
  | School and 300 place Sath Form], involving partial demolition of inner court buildings, D & T block, sixth form crettre and toilet block to the<br>west and resction of a two storey rateration to the north / west elevation to provide new primary school entrance, name and half<br>storey resteriors to the scuch elevation to provide a filt staching block - 3 - 3 scney tracking block within the existing outryand, stamsion   | 24.03.2014  | Enfield Highway Enfield Nor   | eth 112,350.00  
   | \$0,000.00   | Within 10 years of receipt of payment<br>(Nov 2024)  | CCTV Contribution<br>towards the provision and cost of a flavel closed circuit television camera to<br>enforce and monitor the parking restrictions on Bell Lane.   | Andrea Ciemens  | REC   
   | COMMUNITY SAFETY  | CTUBER   | 94329  | 50,410.09   |           |   | 156.24  
  | - 50,566.33   | A200358  |        |  |
|  |   
   
  | to front to provide new entrance, canopy to side, replacement windows throughout, refurbishment of existing facade, reconfiguration of<br>car park at front and associated landscaping works.  |   |   | | | |
   |  |  |   |   |   
   |   |  |  |   |           |   |   
  |   |  |        |  |
|  |   
   
  | Use of existing school site and existing school buildings for an all through school [20 place Nursers, 3FE Primary School, 6FE Secondary<br>School and 300 place Sam Form], involving partial denoitions of lower court buildings, 0.4 Tablock, sinh form conters and table block to the<br>west and exection of a low othery extension to the control / west feavition for provide new primary school, exection and an exection of the control provide new primary and hall, 2-   |   |   | | | |
   |  |  | Traffic Order Works Contribution<br>towards the cost of the indementation of waiting restrictions outside the new   |   |   
   |   |  |  |   |           |   |   
  |   |  |        |  |
| ARK Schools  | 52 Bell Lane EN3 75A<br>P13-03220PLA  
   
  | wets and enclose of a two storey extension to the north / wets elevation to provide new primary school entrance, nursey and hail, 3-<br>to storey extension to be such elevation to provide a list extension (biotic) extension (biotic) with the exaiting course), at storey testing (biotic) at the exait of coursers, storego to site, neglecenter windows throughout, intraintenet of existing facade, recordinguistion of<br>car parks three and associated attackaping works.  | 24.03.2014  | Enfield Highway Enfield Nor   | rth 112,353.00  
   | 3,000.00   | Within 10 years of receipt of payment (Nov 2024 )  | Traffic Order Works Contribution<br>towards the cost of the implementation of waiting restrictions outside the new<br>access to the site and cost of parking restrictions on Rel Lane to Improve visibility.  | David Taylor  | REE   
   | 74.7  | CT0389   | 84309 -  | 3,024.68  |           |   | 9.36  
  | - 3,034.04  | A200399  |        |  |
|  |   
   
  |  | 08.12.08  | Town Enfield Nor  |   
   | 50,000.00  |  | Open Space Contribution   |   |   
   |   |  | 84329  | 2,41.85   |           |   | 156.24  
  | - 50,568.09   | A200387  |        |  |
| ABM London Dev. Limited  | Silver Street, Ecfleid Town, TPJ08/1733 TOWN 232 Great Cambridge Road, Enfield EN1 1TY P12-   
   
  | Exection of a part 4, part 5-storey building comprising 2 commercial units in a ground "flow with 14 km <sup>2</sup> costanismed mediaterial units above (3 x<br>stadio, 2 x 1-bed, 9 x 2-bed and 2 x 3 bed, associated cycle and car parting and servicing areas to naw. Agreement signed 68.12.08<br>Denotification existing result with an exections of new statul and with associated servicing areas, reconfiguration of existing 2 can park into   |   |   |   
   |  | NO DEADLINE  | Open Space Contribution<br>towards improvement of existing open space within the wickity of the development<br>Geners Ways: Cycle Route Contribution  | Matt Watts  | REE   
   | PARKS   | CT0386   |  |   | <br>      |   |   
  |   | Addat/   |        |  |
| Scottish Widows Unit Funds Limited   | 02856PLA  
   
  | Demotion of existing retail unit and elections of new retail unit with subcoated servicing area, recording/action of existing 2 car panks into<br>one and closure of an access route to Great Cambridge Road.  | 20.03.13  | Southbury Enfield Nor   | n) 8,762.5  
   | 5,000.00   | NO DEADUNE   | Green Ways Cycle Acute Controlution<br>to the provision of the Green Ways Cycle Route in the Borough of Enfield<br>Highways Contribution  | David Taylor  | REE   
   | 147   | CTONOD   | 84309 -  | 5,074.55  |           |   | - 15.72   
  | - 5,090.27  |  |        |  |
| Salmon Harvester Properties Limited  | Plot 1, Innova Park, Enfield, EN3 7XY TP/10/1362  
   
  | Redevelopment of site for industrial / warehouse purposes (OUTLINE with all matters reserved).   | 31.05.11  | Enfield Lock Enfield Nor  | rth 18,000.00   
   | 5,000.00   | None Specified   | regulary community of waiting restrictions at<br>towards off site highways works within the vicinity  | David Taylor  | 767   
   | 78.7  | CTORDS   | 84329 -  | 5,486.15  |           |   | 17.04   
  | - 5,503.19  |  |        |  |
| Salmon Harvester Properties Limited  | Plot 1, Innova Park, Enfield, EN3 7XY TP/10/1362  
   
  | Redevelopment of site for industrial / warehouse purposes (OUTLINE with all matters reserved).   | 31.05.11  | Enfield Lock Enfield Nor  | eth 18,000.00   
   | 10,000.00  | None Specified   | Landscaping Contribution<br>in respect of provision of off site landscaping   | Matt Watts  | REC   
   | PARKS   | CT0406   | 94309 -  | 10,972.42   |           |   | 22.56   
  | - 11,006.38   |  |        |  |
|  | Former ISAB Industrial Site Plot 2 Mollison Av. P12-  
   
  |  |   |   | nh 24,275.00  
   |  |  | Greenary Cycle Network Contribution<br>towards the implementation of sections of the Greenarus cycle scheme to assist   |   | | |
   |   | CT0407   | 84329  | 18,504.10   |           |   |   
  | . 18,561.46   |  |        |  |
| Gpark Enfield LTD  | Former CSAB Industrial Site Piot 2 Mollison Av. P12-<br>00213PLA  
   
  | Redevelopment of Plot 2 for up to 12,537m2 of B1, B2 and B8 use (OUTLINE - Access).  |   | Turkey Street Enfield Nor   | 26,25.00  
   | 17,500.00  | Within Syears from the date of receipt   | towards the imperientation of sections of the unreeways cycle scheme to asset<br>accessibility to the Land  | David Taylor  | REE   
   | 767   | CIDIE/   | 84.09  | 38,504.30   |           |   | · · 5%  
  | - 18,541.66   |  |        |  |
| Peter Stemann Brooke, Niels Stemann<br>Brooke, Jeffrey Stemann Brooke  | 213-219 Baker Street P12-01749PLA   
   
  | Redevelopment of site involving densitions of existing building and erection of a four starrey block comprising 2 retail units on ground floor<br>(A1/A2) and 10 self costained flats  | 09.12.14  | Chase Enfield Nor   | ith 30,448.55   
   | 2,500.00   |  | Nghazys   | Mick Pand   | REC   
   | 78.7  | CT0427   | 94329  | 2,229.02  |           |   | 6.36  
  | - 2,235.98  |  |        |  |
|  |   
   
  | Redevelopment of site for mixed use to provide up to 32,000up in of replacement hospital facilities, construction of a 3-form entry primary<br>school including temporary facilities pending completion of permanent school and construction of up to 500 meldential units, provision of<br>additional hospital access opposite Rédge Cent and provision of egents to the school site as 200toents Road, huwling demolificion of   |   |   | | | |
   |  |  |   |   |   
   |   |  |  |   |           |   |   
  |   |  |        |  |
| Royal Free London NHS Foundation Trus  | Chase Farm Hospital The Ridgeway EN2 GL<br>14/04574/DUT   
   
  | additional haspital access copeosite Ridge Cente and provision of egens to the school late via Shooteen Road, involving demolition of<br>hospital buildings and succidate relational blocks, parallal demolition of CCC brane complex, renoral of informate<br>treatment plant and field to Burner, reterction of Highlands. Wing, reteretion and extension of existing multi-toroay car paids, provident<br>associated or parking, optie parking, justin, Mari and acti Inducziang, paulike renal ming movement and associated oraxis. [Detained  | 23.10.2015  | Grange Enfield Nor  | inth  
   | 30,000.00  | within 10 years of date of receipt   | Rus Stop Contribution   | David Taylor  | RBE   
   | 167   | CTONED   | 84309 -  | 30,129.28   |           |   | 52.36   
  | - 30,322.64   |  |        |  |
|  |   
   
  | associated car parking, cycle parking, plant, hand and soft landscaping, public realm improvements and associated works. (Dutline<br>application: Access)  |   |   | | | |
   |  |  |   |   |   
   |   |  |  |   |           |   |   
  |   |  |        |  |
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  | Redevelopment of size for mixed use to provide up to 12,000sg m of replacement hospital facilities, comstruction of a 3-form entry primary school including temporary facilities pending completion of germanent school and construction of up to 500 meidential write, provision of   |   |   | | | |
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   |   |  |  |   |           |   |   
  |   |  |        |  |
| Royal Free London NHS Foundation True  | Chase Farm Hospital The Ridgeway EN2 GL<br>14/04574/OUT   
   
  | Local nuclear property increases parking completes or premarent cores and contraction or up to sub-reasonance and, provision of<br>additional hospital nuclear concerns operating direct and provision of the initial site of the initial site of hospital building and associated associations and ending and   | 23.10.2015  | Grange Enfield Nor  | in the second seco  | 75,000.00   
  | within 10 years of date of receipt   | Lavender Hill Pedestrian Crossing Contribution  | David Taylor  | 884   
   | 147   | CTOKSP   | 94329  | 75,223.20   |           |   | 223.52   | - 75,556.72  
  |  |        |  |
|  | L   
   
  | associated car parking, cycle parking, plant, hard and soft binducaping, public realm improvements and associated works. (Durine<br>application: Access)   |   |   | | | |
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  | Redendament of the first state of a time of a state of the state of a state of the        |   |   |   | | | |
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   |  |        |  |
| Royal Free London NHS Foundation True  | t Chase Farm Hospital The Ridgeway EN2 GL<br>14/04574/DUT   
   
  | where the second s   | 23.10.2015  | Grange Enfield Nor  | ith   | 10,000.00   
  | within 10 years of date of receipt   | Chase Farm O'Z contribution   | David Taylor  | REF   
   | 767   | ctosse   | 84329 -  | 10,043.12   |           |   | 31.08  | - 10,074.20  
  |  |        |  |
|  |   
   
  | treatment plant and field all burner, relection of Highlands Wing, meterilian and extension of existing multi-stoney car pack, provision of<br>associated car parking, cycle parking, plant, hand parking pallit, evails improvements and associated works. [Outline<br>application: Account)  |   |   | | | |
   |  |  |   |   |   
   |   |  |  |   |           |   |   
  |   |  |        |  |
|  |   
   
  | Redevelopment of site for mixed use to provide up to 32,000sg m of replacement hospital facilities, construction of a 3-form entry primary school including temporary facilities pending completion of armanent school and construction of up to 500 residential units, provision of   |   |   | | | |
   |  |  |   |   |   
   |   |  |  |   |           |   |   
  |   |  |        |  |
| Royal Free London NHS Foundation Trus  | t Chase Farm Hospital The Ridgeway EN2 GL<br>14/04534/OUT   
   
  | And an index product as proceeding straining componence products and only and an experiments and products and an additional hospital and an additional hospital and and an additional hospital building and a social of additional products and additional hospital building and a social of additional hospital building and additional hospital building additional hospita          | 23.10.2015  | Grange Enfield Nor  | ith .   | 64,667.00   
  | within 10 years of date of receipt   | Pedestrian Movement Contribution  | David Taylor  |   
   | 78.7  | CTONEL   | 84329 -  | 44,859.44   |           |   | 138.08   | - 44,998.52  
  |  |        |  |
|  |   
   
  | <ul> <li>- spears are used to describe a second of example to the sum of example to the sum of example to the second of example and associated works. (Outline application: Access)</li> </ul>   |   |   | | | |
   |  |  |   |   |   
   |   |  |  |   |           |   |   
  |   |  |        |  |
| Tarik Shekerzade   | 158A Scotland Green Road Enfield EN2 488<br>15/03506/RJL  
   
  | Conversion of the existing List & 2nd floor flat to 2 x self contained flats   | 23.11.2015  | Ponders End Edmontor  | an TBC  
   | TRC  | nc   | Education Contribution  | Keith Rowley  | 58/3  
   | 650   | CT0657   | 96309 -  | 626.45  |           |   | 1.92  
  | - 608.37  |  |        |  |
| Enfield Retail Ltd-John Laing Property<br>Ltd  | Phase II Palace Exchange Enfield Town Centre<br>TP/00/0977  
   
  | Redevelopment of site to provide initial floor space, cultural facility including library and multi-storey car park in association with the<br>comprehensive redevelopment of land at Enfield Town Centre under planning permission  | 25.08.04  | Grange Southbury<br>Town Drifield Nor   | ith 167,000.00  
   | 52,000.00  | 16-05-10   | Off SRe Works Contribution<br>towards the provision of off site works for street furniture and or car park<br>detectional signs/hard/koft landscaping/facilities for cyclists   | David Taylor  | REC   
   | 78.7  | CT0173   | 94911 -  | 15,628.19   |           |   | 4.4   
  | - 15,676.67   | A200231  |        |  |
|  | Sports Ground, Oakthorpe Road, N13  
   
  | Erection of community and education centre (incorporating mosque, numery/multi-function hall, teaching norms, library, kitchen/dining,   | 23.02.01  |   | × 5,000.00  
   | 5,000.00   |  | Torffic & Transportation improvements -<br>towards traffic calming measures in the immediate vicinity of the site   |   | 852   
   | 147   | CT0139   | 94918 -  | 2,747.48  |           |   | 12  
  | - 2,756.00  | A200159  | 150210 |  |
| Muslim Community Education Centre  | TP/RA/DBBS<br>PALMERS GREEN   
   
  | imany/caretakers flat and anciliary accommodation (and associated landscaping and parking facilities together with details of materials,<br>hard surfacing levels, access and junction, reflaxe storage, constructions servicing area, wheel cleaning and external lighting  | 28.02.01  | Palmers Green Southgate   | \$ 5,000.00   
   | Speecas  | NO DEADLINE  | towards traffic calming measures in the immediate vicinity of the site  | David Taylor  | REC   
   | 74.7  | CILLA  | 96928  | 2,947.88  |           |   | EM  
  | - 2,5600  | A200159<br>A200355   | 120230 |  |
| Corner Homes   | Tower Point, Sydney Road, Enfield 99/0615   
   
  | Conversion of building into 147 self-contained flats involving extensions at roof level and 1/4th floor level, provision of associated<br>elevations, provision of a health club and ancillary retail unit on the ground and first floor of the building and provision of associated<br>parking facilities [Revised Scheme].   | 29.02.00  | Grange Southgate  | w 208,919.31  
   | \$3,000.00   | NO DEADLINE  | Environmental improvements<br>towards general environmental improvements in the vicinity of the land  | Trevor King   | REC   
   | 767   | CT0075   | 94928 -  | 7,057.82  |           |   | 21.86   
  | - 7,079.66  | A200225  | 151218 |  |
| Corner Homes   | Tower Point, Sydney Road, Enfield 98/0615   
   
  | Conversion of building into 147 self-contained flats involving extensions at noof level and 3/8th floor level, provision of takcories to all<br>elevation, provision of a health club and anciding restal and on the ground and first floor of the building and provision of associated<br>participations (provided takens).   | 29.02.00  | Grange Southgate  | w 208,919.31  
   | 155,919.31   | NO DEADLINE  | Off site Social Housing<br>towards the off site provides of social housing<br>Contribution papable in instalments-<br>upon completion of each flat permitted  | Sanah Canter  | HHAASE  
   | Development & Estates<br>Renewal - Council Homes  | CT0274   | 94928 -  | 8,882.21  |           |   | 27.48   
  | - 8,909.69 C380120  |  |        |  |
|  |   
   
  |  |   |   | | | |
   |  |  | upon completion of each flat permitted<br>Highways Contribution-  |   |   
   |   |  |  |   |           |   |   
  |   |  |        |  |
| Soutiris Joanneu and Fetoulla Joanneu  | 2 Green Dragon Lane Witchmore Hill<br>N21 2LD<br>GRANGE T9/07/2188  
   
  | Charge of use of part of premium (ground floor) from residential to Children's Nurvery for maximum of till children (aged Smths - 4 ym)<br>involving erection of access rump to front and a single storay mar extension (revised scheme).  | 18.09.08  | Grange Southgate  | * 4,000.00  
   | 4,000.00   | NO DEADLINE  | Highways Contribution-<br>towards waiting netrictions, road markings and signage around turning Head in<br>Bush Hill and ministratement of public footway on Green Dragon Lane  | Dave Oxley  | REC   
   | 767   | CT0226   | 94928  | 2,330.09  |           |   | 7.20  
  | - 2,337.29  | A200256  | 151218 |  |
| Michaeledes  | 6 Bourne Hill N13 485 TP/05/0427  
   
  | Change of use of petrol station and shop to a hand car wash facility with shop and customer seating area. Linked to TP/02/2008   | 15.05.07  | Winchmore Hill Southgate  | w 23,000.00   
   | 23,000.00  | 14.05.12   | Highways Contribution-<br>for the purpose of installing a selora crossing within the vicinity of the Land or such   | David Taylor  | REC   
   | 76.7  | CT12207  | 84309 -  | 8,943.16  |           |   | 27.72   
  | - 8,970.88  | A200240  |        |  |
|  | 1-23 Linden Way N14<br>01/1464  
   
  | Erection of 18 x four bedroom townhouses in 4 three storey blocks and a detached 2 bedroom house together with widening of access  | 19.03.03  | Palmen Green Southgate  | se 6,000.00   
   | 6,000.00   |  | other use as the Council may in its absolute discretion deem acceptable Traffic & Transportation improvements   |   | 852   
   | 147   | CT0549   | 94928  | 5,107.70  | <br>42.50 |   | 42.50 - 15.74   
  | · 5,080.94  | A200158  | 550210 |  |
| Furlong Homes Ltd  | SOUTHGATE   
   
  | Enclosed 18 sfour bedroom towrhouses in it three storey blocks and a detached 3 bedroom house together with widening of access<br>road (The Rye), provision of associated car parking and removal of 16 trees.   |   | Patters Green Sounders  | -   
   | 0,000.00   | NO DEADLINE  | towards traffic calming measures in the immediate vicinity of the site  | David Taylor  | NGA   
   |   |  |  | 1,201.70  |           |   | 54.90 - 45.70   
  |   |  | 10000  |  |
| Jicama holdings Ltd  | Land at North Side of Highfield Rd, N21 3HE<br>10/0388  
   
  | Redevelopment of land to the east of site to provide 1 blocks of 1 = 2-storey, 3-bed terraced houses with rear dommers and off street parking at front and new access to HighField Road.   | 23.07.10  | Cockfosters Southgate   | a 13,500.00   
   | 5,000.00   | NO DEADLINE  | Landscaping Contribution<br>for the provision of semi-mature trees along the pavement frontage in between<br>crossovers   | Andy Robinson   | REC   
   | 767   | CT0258   | 94928  | 189.76  |           |   | 0.60  
  | - 190.36  | A200301  |        |  |
| Jicama holdings Ltd  | Land at North Side of Highlield Rd, N21 3HE<br>10/0388  
   
  | Redevelopment of land to the east of site to provide 3 blocks of 3 x 3-storey, 3-bed terraced houses with rear dormers and off street<br>parting at front and new access to HighField Road.  | 23.07.10  | Cockfosters Southgate   | w 13,500.00   
   | 8,500.00   | NO DEADLINE  | Highways Costribution<br>fowards resurfacing of pavements in between new vehicular crossovers together<br>with the removal and recruition of any new street lattice   | David Taylor  | REE   
   | 167   | CT0259   | 94928 -  | 1,788.90  |           |   | 27.26   
  | - 8,816.14  | A200347  |        |  |
| Mace inns Ltd and Bank of Cyprus   | 95 Bramley Road London N14 4EY TP/10/0028   
   
  | Redevelopment of site to provide 25 residential units comprising 2 blocks of residential units, one 3-storey block to firset of site<br>incorporating 17 units (4 x 1-bed, 9 x 2-bed and 4 x 3-bed) with undercost access to rear parking area, rooms in root, balconies to first,   |   |   | | | |
   |  |  | Once Course Controllection  |   |   
   |   |  |  |   |           | _ |   
  |   |  |        |  |
| Made Intel Ltd and same of Cypras  | sis aramay koad London N14 461 TP/30/0028   
   
  |  |   |   | | | |
   | 20,000,00  |  | towards enhancement of and access to open space   |   |   
   |   | CT1700   |  | 10.77   |           |   |   
  | 10.77   | 4200278  |        |  |
| Leslie Properties Ltd  |   
   
  | second and third floor at front and near and a 3-storey block to rear of site incorporating il units (2 x 2-bed, 4 x 3-bed and 2 x 4-bed) with<br>balconies to first and second floor at front and rear, voltaic solar panels to main roof of both blocks and car parking for 21 cars.   | 09.05.11  | Cockfosters Southgate   | a 264,000.00  
   | 30,000.00  | 24.06.36   | OpenSpace Contribution<br>towards enhancement of and access to open space   | Matthew Watts   | REE   
   | PARKS   | C10268   | 94329 -  | 10.56   |           |   |   
  | - 30.56   | A200358  |        |  |
|  | Cedar House, 699, Green Lanes, N21<br>WINCHMORE HELTP/04/2117   
   
  | second and third floor at front and max and a 3-storey block to max of this incosponsing il units (p x 3-back, x a 3-back and y x 6-back with<br>balconists for find and second floor at front and max, volatic subar panels for main nosi of a both blocks and car parting for 2 can.<br>DemolStori of part of existing building and numery and charge of use of remaining building front efficus to maintenait involving exercises of  | 09.05.11<br>27.02.06  | Cockfosters Southgate Withchasare Hill Southgate  | * 264,000.00<br>* 15,000.00   
   | 20,000.00  | 24.06.16<br>NO DEADLINE  |   |   | REE   
   | PARKS   | CTI268   | 94229 -  | 10.56<br>9,174.58   |           |   | 29.64   
  | - 20.56<br>- 9,604.22   | A200258<br>A200271   | 52274  |  |
| Thomas William Parker and TW Parker  | Cedar House, 608, Green Lanes, N21<br>WNNCHWD6E HELTP/D4/2117<br>superseded by TP/06/1275<br>90/120 Green Lanes, London N13 SUP TP/06/0423  
   
  | acceler der beführer at freuz auf anzu als 2-einer pilocits zur er die incorporatig als nich p. 2-3. Sei, 4:3. Sei der 24. Sei der 44. Sei der 46.           | 27.02.06  | Winchmore Hill Southgets  | w 15,000.00   | 15,000.00   
  | NO DEADLINE  | Highwayi Costribuition<br>towards review of existing waiting exercision in Highfield Road, improvement of<br>the footways in Highfield Road, and any associated highways works<br>Draws Forwer control vision   | Michael Pagroo  | 885   
   | 187   | C70188   | 94928 -  |   |           |   |  |  
  | A200271  | E3ED4  |  |
| Thomas William Parker and TW Parker<br>(Palmers Green)   | : 90/120 Green Lanex, London N 13 SUP 19/08/0423<br>TP/08/0423/MM1  
   
  | Loss of additional frame of the order of the strength set of the strength set of the 2 + bit (1.4 + bit (2.4 + bit)). The strength set of the str        | 27.02.06<br>20.07.10  | Winchmore Hill Southgate Palmers Green Southgate  | a 15,000.00<br>te 122,674.04  | 15,000.00   
  |  | Nigheagy Cutofication<br>towards review of existing weathing meta-chain a singlefaid focat, improvement of<br>the facturage is singlefaid focat, and any associate folgoway aren's<br>Open Space Control Line and a single single single single single single<br>to be pairts the Control Line angular of the provision by the Control of publicly<br>ascelable group regions within 6 and and of the land  |   |   
   |   | Сторая<br>Сторая   | 96528 -<br>84209 -   | 8,881.67  |           |   | - 27.46  | - 8,808.15   
  | A200271<br>A200359   | 532PH  |  |
| Thomas William Packer and TW Parker<br>(Palmers Green)<br>Shanly Homes Limited   |   
   
  | Leaded and the first first of the order of an analysis of series (section of the strengeneing leading 2-1, 4-2, 4-3, 4-4, 2-4, 4-3, 4-4, 2-4, 4-4, 4-4, 4-4, 4-4, 4-4, 4-4   | 27.02.06  | Winchmore Hill Southgate Palmers Green Southgate  | a 15,000.00<br>te 122,674.04  
   | 15,000.00  | NO DEADLINE  | Righway, Carolhadan<br>Tusarda nakwa di salitag waka gwaka cana ha diginda fasad, mpysammet af<br>the hannaya, in kiginda Fasad, ana aka na mana di saga salawa di<br>tar par kana salawa mangan di salawa di kana di tahuaka<br>makalan gana pangangan di salawa da di tahuaka di tahuaka<br>Makalangan panganangan di salawa da di tahuaka di tahuaka<br>Makalangan panganangan da salawa da di tahuaka di tahuaka<br>Makalangan panganangan da salawa da di tahuaka di tahuaka<br>Makalangan panganangan da salawa da salawa da di tahuaka<br>Makalangan panganangan da salawa da salawa da di tahuaka<br>Makalangan panganangan da salawa da salawa da di tahuaka di tahuaka<br>Makalangan da   | Michael Jhagroo<br>Matthew Watts<br>Mike Hoyland  | 885   
   | 187   | C70188   | 94928 -  |   |           |   |   
  |   | A200271  | 63204  |  |
|  | : 90/120 Green Lanex, London N 13 SUP 19/08/0423<br>TP/08/0423/MM1  
   
  | Loss of additional frame of the order of the strength set of the strength set of the 2 + bit (1.4 + bit (2.4 + bit)). The strength set of the str        | 27.02.06<br>20.07.10  | Vitadmane Hill Southprix<br>Patners Green Southprix<br>Southprix Green Southprix  | * 25,000.00   | 15,000.00   
  | NO DEADLINE<br>20.09.21  | Righway, Carolhadan<br>Tusarda nakwa di salitag waka gwaka cana ha diginda fasad, mpysammet af<br>the hannaya, in kiginda Fasad, ana aka na mana di saga salawa di<br>tar par kana salawa mangan di salawa di kana di tahuaka<br>makalan gana pangangan di salawa da di tahuaka di tahuaka<br>Makalangan panganangan di salawa da di tahuaka di tahuaka<br>Makalangan panganangan da salawa da di tahuaka di tahuaka<br>Makalangan panganangan da salawa da di tahuaka di tahuaka<br>Makalangan panganangan da salawa da salawa da di tahuaka<br>Makalangan panganangan da salawa da salawa da di tahuaka<br>Makalangan panganangan da salawa da salawa da di tahuaka di tahuaka<br>Makalangan da   | Michael Jhagroo<br>Matthew Watts<br>Mike Hoyland  | REC   
   | T&T<br>PARKS  | Сторая<br>Сторая   | 96528 -<br>84209 -   | 8,881.67  |           |   | - 27.46  | - 8,800.15<br>- 23,630.31  
  | A200271<br>A200359   | 63274  |  |
| Shaniy Homes Limited<br>Henry Homes  | 90/120 Green Lanes, London N.13 SUP 17/00/0623<br>TP/00/PGZ/MMZ<br>Chase Side Wirks, Cheimdord Road, London, N.14<br>ARTP/10/1424<br>2118: Chase Road DN14 TP/00/0869   
   
  | Another all of the unit for an error of a straining that the unit of the topogeneight shall be 2 a block (14 a block 2) a block (14 b block 2) a block 2) a block (14 b block 2) a bloc       | 27.02.06<br>20.07.10<br>21.04.11 00V 28.02.14<br>28.06.10                                     | Vitedmane kill Southprix<br>Palmen Green Southprix<br>Southpris Green Southprix<br>Southpris Green Southprix  | #         15,000.00           Int         122,074.06           Int         184,774.00           with         6,000.00   | 15,000.00<br>35,000.00<br>15,000.00<br>4,000.00  
   | NO GENOLINE<br>2010 21<br>5 years of most of final average payment<br>NO GENOLINE  | Reprod. Contraction<br>tests the end of earlier applicable states, and any associated field approximate of<br>the function provide of the provide states and any associated field provide states<br>the provide states of the provide states and any associated<br>Reproduct of the provide states and any associated field provide states<br>include the reprovement of the provide states and any any and<br>the states that reprove and the states and any any and any and any any and<br>the states the reprovement of the provide states and any any and<br>the states the reprovement of the states and any any and any   | Michael Jhagroo<br>Matthew Watts<br>Mike Hoyland<br>Lionathan Goodson   | 825<br>825<br>825<br>825   
  | 78.7<br>PARKS<br>78.7<br>78.7   | CTILLE<br>CTILLE<br>CTILLE<br>CTILLE<br>CTILLE<br>CTILLE   | 94528 -<br>84208 -<br>84208 -<br>84208 -   | 8,881.67<br>29,537.85<br>2,745.12   |           |   | · 22.6   | - 8,869.15<br>- 23,650.21<br>-  
   | A202371<br>A202359<br>A202344<br>A202344   |        |  |
| Shaniy Homes Limited   | 90/120 Green Lanex, London N 13 SUP TP/08/0623<br>TP/06/0623(NML<br>Chase Side Works, Chelmoford Road, London, N 14<br>48/TP/10/1424  
   
  | A subset of the set of       | 27.02.06<br>20.07.10<br>21.04.11 00V 28.02.14<br>28.06.10                                     | Vitadmane Hill Southprix<br>Patners Green Southprix<br>Southprix Green Southprix  | #         15,000.00           Int         122,074.06           Int         184,774.00           with         6,000.00   | 15,000.00<br>35,000.00<br>15,000.00   
  | NO GLADURE<br>2009 31<br>5 years of reality of final ownage payment  | Paper-Contention     Paper-Contention     We can be added and a second sec   | Michael Jhagroo<br>Matthew Watts<br>Mike Hoyland<br>Lionathan Goodson   | 885<br>885<br>885   | TAT<br>PARKS<br>TAT  
  | CTI288<br>CTI288<br>CTI289   | 94028 -<br>84020 -<br>84020 -  | 8,881.67<br>20,527.35   |           |   | - 27.40<br>- 72.96   | - 8,800.15<br>- 23,630.31   
                   | A200271<br>A200259<br>A200364  |        |  |
| Shaniy Homes Limited<br>Henry Homes  | 9(2)20 Gene Lane, Landon N.13 KJP 39(8)(422<br>179(6)(422)(MM)<br>Chure Side Works, Christoffer Sand, Landon, N.14<br>43(717)(2)(12)8<br>2118: Chure Road (714 77)(0)(1060<br>482)(490 Genes Lanes Landon N.13 485 17)(9)(72)8  
   
  | A subset of the set of       | 27.02.06<br>20.07.10<br>21.04.11 00V 28.02.14<br>28.06.10                                     | Vitedmane kill Southprix<br>Palmen Green Southprix<br>Southpris Green Southprix<br>Southpris Green Southprix  | * 11,000.00<br>te 1122,474.00<br>te 144,714.00<br>eth 4,000.00<br>te 115,587.00   | 15,000.00<br>35,000.00<br>15,000.00<br>4,000.00   
  | NO GENOLINE<br>2010 21<br>5 years of most of final average payment<br>NO GENOLINE  | Papers Contracts     Papers Contracts     In the Intermit and Papers     Papers Contracts     Papers  | Michael Jhagroo<br>Matthew Watts<br>Mike Hoyland<br>Lionathan Goodson   | 825<br>825<br>825<br>825  | 78.7<br>PARKS<br>78.7<br>78.7   
   | CTILLE<br>CTILLE<br>CTILLE<br>CTILLE<br>CTILLE<br>CTILLE   | 94528 -<br>84208 -<br>84208 -<br>84208 -   | 8,881.67<br>29,537.85<br>2,745.12   |           |   | · 22.6   | - 8,809.15<br>- 23,690.22<br>-   
  | A202371<br>A202359<br>A202344<br>A202344   |        |  |
| Shanly Homes Limited<br>Henry Homes<br>Beacon Societties Limited<br>Beacon Societties Limited  | 10/12/2 Grane Lang, Lodon N.S. 2019/00/22           Clease Safe Works, Chemotory Bload, Landon, N.J.           Clease Safe Works, Chemotory Bload, Landon, N.J.           2.118. Clease Rand CNLS 17/05/0569           483,009 Green Lane, London, N.J. 465. 17/06/0248           WIDCHARDER MLL.           482,009 Green Lane, London, N.J. 465. 17/06/0248           WIDCHARDER MLL.           WIDCHARDER MLL.  
   
  | Accord and the unit from or the unit of the set to the product to use of the security set of the 1.2 to the 1.3 to the 1.2 to the 1.       | 27.02.06<br>20.07.10<br>21.96.11.09v.26.02.36<br>28.06.10<br>07.06.10<br>07.06.10             | Mindews Hill         Suindprix           Patrice Court         Suindprix           Configure Court         Suindprix           Suindprix Court         Suindprix           Mindews Hill         Suindprix           Windware Hill         Suindprix           Windware Hill         Suindprix   | *         15,000.00           %         122,074.00           %         185,774.00           wth         4,000.00           %         115,527.00           %         115,527.00  | 11,000.00<br>24,000.00<br>11,000.00<br>4,000.00<br>11,000.00<br>11,000.00   
  | N02004K<br>2003<br>1 year drange paper<br>N02004K<br>N02004K   | Papera Cachalan     Terrer and a result of the second   | Micharl Jageo<br>Mathew Watts<br>Mite Hoyland<br>Janathan Goodan<br>David Taylor<br>Mathew Watts  | 228<br>228<br>246<br>246<br>246<br>246<br>246   | 327<br>2485<br>327<br>327<br>327<br>327<br>327<br>327<br>325  
   | C1088<br>C1088<br>C1087<br>C1087<br>C1087<br>C1083<br>C1084  | - ERE<br>- 0004<br>- 0004<br>- 0004<br>- 0004<br>- 0004  | 8,881.67<br>23,537.35<br>2,765.12<br>11,466.71<br>12,287.69   |           |   | 8.2<br>8.2<br>8.2<br>8.2<br>8.2<br>8.4<br>8.4  | - 244835<br>- 244834<br>- 1455455<br>- 1455455   
  | AD0071<br>AD0059<br>AD00544<br>AD00569<br>AD00569  |        |  |
| Shanly Homes Limited<br>Henry Homes<br>Beacon Securities Limited   | 9(7)23 Green Lanse, Landen XI 202 79(8)(1622<br>179(9)(4622,NM4<br>Chars Edit Wink, Charlendroff Road, Landon, N14<br>487(7)(2)(424<br>3113, Charse Road EN14 77(9)(1066)<br>413, Charse Road EN14 77(9)(1066)<br>413, Charse Landon, N13 465 17(9)(1)(238<br>WWCHMOEK INL  
   
  | A solution of the end of the solution of the s       | 27.02.06<br>20.07.30<br>21.04.11.099.26.02.34<br>28.06.30<br>07.05.30                         | Witchmann Hill         Southgeine           Patters Grean         Southgeine           Southgeine         Southgeine           Witchmann Hill         Southgeine           Mitchmann Hill         Southgeine           Witchmann Hill         Southgeine  | *         15,000.00           %         122,074.00           %         185,774.00           wth         4,000.00           %         115,527.00           %         115,527.00  | 15,000.00<br>25,000.00<br>15,000.00<br>6,000.00<br>15,000.00  
  | NO SEALURE<br>2005.21<br>5 years of morage at Third county payment<br>NO SEALURE<br>NO SEALURE   | Papers Controlse<br>Papers Controlse<br>Sections of a large and excitation in signification of a section<br>section of a large section of a section of a section of a<br>Section of a section of a section of a section of a section<br>Section of a section of a section of a section of a section<br>Section of a section of a section of a section of a section of a<br>Section of a section of a section of a section of a section of a<br>Section of a section of a section of a section of a section of a<br>Section of a section of a section of a section of a section of a<br>Section of a section of a section of a section of a section of a<br>Section of a section of a section of a section of a section of<br>Section of a section of a section of a section of a section of<br>Section of a section of a section of a section of a section of<br>Section of a section of a section of a section of a section of<br>Section of a section of a section of a section of a section of<br>Section of a section of a section of a section of a section of<br>Section of a section of a section of a section of a section of<br>Section of a section of a section of a section of a section of<br>Section of a section of a section of a section of a section of a<br>Section of a section of a section of a section of a section of a<br>Section of a section of a section of a section of a section of a<br>Section of a section of a section of a section of a section of a<br>Section of a section of a section of a section of a section of a<br>Section of a section of a section of a section of a section of a<br>Section of a section of a section of a section of a section of a<br>Section of a section of a<br>Section of a section of a sec  | Michael Jhagnoo<br>Mathew Watts<br>Milte Hoyland<br>Januthan Goodian<br>David Taylor  | 226<br>246<br>246<br>246<br>246   | 14.7<br>PARKS<br>14.7<br>14.7<br>14.7  
  | C1068<br>C1083<br>C1087<br>C1087<br>C1087<br>C1087   | 9623 -<br>9626 -<br>9626 -<br>9626 -<br>9626 -   | 8,881.67<br>20,537.25<br>2,745.12<br>11,468.71  |           |   |  | - 8,6815<br>- 23,68131<br>- 11,524,35   
   | A202371<br>A202359<br>A202344<br>A202344   |        |  |
| Shanly Homes Limited<br>Henry Homes<br>Beacon Societties Limited<br>Beacon Societties Limited  | 10/12/2 Grane Lang, Loden NT 2019/0012           Clease Safe Works, Chemotore Base Landon, N14           Clease Safe Works, Chemotore Base Landon, N14           2118 Clease Rand CNLF 10/08/0569           483,009 Green Lanex London, N12 465 T0/08/128           WIDCHARDER RALL           482,009 Green Lanex London, N12 465 T0/08/128           WIDCHARDER RALL           WIDCHARDER RALL   
   
  | A subset of the set of       | 27.02.06<br>20.07.10<br>21.96.11.09v.26.02.36<br>28.06.10<br>07.06.10<br>07.06.10             | Mindews Hill         Scolegen           Patters Court         Scolegen           Configure Court         Scolegen           Scolegen Court         Scolegen           Mindews Hill         Scolegen           Windows Hill         Scolegen           Windows Hill         Scolegen   |   | 1100000 0<br>35,000.00 0<br>11,000.00 0<br>11,000.00 0<br>11,000.00 0<br>11,000.00 0  
  | N02004K<br>2003<br>1 year drange paper<br>N02004K<br>N02004K   | Peper-Contents     Peper-Contents     work of and a clearly subject to a subject fault, requested of     for the subject to a clear subject fault, requested     for the subject to a clear subject to a clear subject     manual subject to a clear subject to a clear subject     manual subject to a clear subject     manual subject to a clear subject     manual subject  | Micharl Jageo<br>Mathew Watts<br>Mite Hoyland<br>Janathan Goodan<br>David Taylor<br>Mathew Watts  | 228<br>228<br>246<br>246<br>246<br>246<br>246   | 327<br>2485<br>327<br>327<br>327<br>327<br>327<br>327<br>325  
   | C1088<br>C1088<br>C1087<br>C1087<br>C1087<br>C1083<br>C1084  | - ERE<br>- 0004<br>- 0004<br>- 0004<br>- 0004<br>- 0004  | 8,881.67<br>23,537.35<br>2,765.12<br>11,466.71<br>12,287.69   |           |   | 8.2<br>8.2<br>8.2<br>8.2<br>8.2<br>8.4<br>8.4  | - 244835<br>- 244834<br>- 1455455<br>- 1455455   
  | AD0071<br>AD0059<br>AD00544<br>AD00569<br>AD00569  |        |  | | | | | | | | | | | | | | | | | | | |
| Danky Homes Limbed<br>Henry Homes<br>Reacostice utiles Limbed<br>Reacostice Utiles Limbed<br>Transport for Limbed<br>Hyper Cansulty (JA) Limbed  | BY122 Gram same, Leaders KT 2019/BY12     Gram same, Leaders KT 2019/BY12     Gram Sile Wark, Columptor Back Leaders, K14     AMT/92(LAX     Same Same Disk 79(d))/S000     Same Same Disk 79(d)/S000     Same Disk  | A solution of the end of the solution of the s       | 27.62.06<br>20.07.30<br>21.06.11.007.36.02.34<br>20.65.30<br>07.65.30<br>07.65.30<br>11.02.06 | Wesheay all         Sustained           Patters Grain         Sustained           Sustained         Sustained           Sustained         Sustained           Wesheave all         Sustained           Wesheave all         Sustained           Wesheave all         Sustained           Bases         Sustained  |   | 1100000 0<br>35,000.00 0<br>11,000.00 0<br>11,000.00 0<br>11,000.00 0<br>11,000.00 0   | 10300.01<br>2001<br>2001<br>2000<br>5000.05<br>5000.05<br>5000.05<br>5000.05   | Papers Contrain     Security of the secur   | Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>anteles Gostes<br>Onteles Taylor<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Mat | 25<br>25<br>26<br>26<br>26<br>26<br>26<br>26  | 142<br>ABGS<br>142<br>347<br>342<br>ABGS<br>AGGS<br>AGGS<br>AGGS<br>AGGS<br>AGGS<br>AGGS<br>AGGS  | C1988  |  | 8,881.67<br>20,327.25<br>2,745.12<br>11,488.71<br>12,287.69<br>34,858.77  |           |   | 842         -         -           842         -         -           843         -         -           843         -         -           843         -         -           844         -         -           844         -         -           844         -         -           844         -         -  | . 486.15<br>. 2465.5<br>  | A30271<br>A20379<br>A20379<br>A30299<br>A30299<br>A30299   |        |  |
| Sturing Homes Limbed<br>Manay Normes<br>Beauss Securities Limbed<br>Beauss Securities Limbed<br>Beauss Securities Limbed<br>Hopesey for Limbed<br>Highline Exanding (JSI) Limbed<br>Highline Exanding (JSI)  | B/0126 American, Luchar NJ, Dir Willingson, Diram Statistics, Linken Kall, Statistics, NJ, Bill, Charlos Ka  | A set of the set of th       | 2224<br>24109244<br>24109244<br>2510<br>2510<br>2510<br>2510<br>2510<br>2510<br>2510          | Witchesyn W         Skrifters           Witchesyn W         Skrifters           Paters Cam         Skrifters           Langes Cams         Skrifters           Matheway M         Skrifters           Witchesyn M         Skrifters           Witchesyn M         Skrifters           Witchesyn M         Skrifters           Matheway M         Skrifters           Witchesyn M         Skrifters           Witchesyn M         Skrifters           Witchesyn M         Skrifters  |   | 11,000,00<br>20,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>0<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,000  | 14030045<br>3883<br>3883<br>3985<br>4985045<br>4030045<br>4030045<br>4030045<br>4030045  | Pepachanian     Sepachanian     Sepachani   | Mithed Pages<br>Mithee Kens<br>Mariney Marin<br>Mariney Marine<br>Mariney Mariney<br>Mariney Watthe<br>Mariney Watthe<br>Mariney Watthe   | 248<br>248<br>248<br>248<br>248<br>248<br>248<br>248<br>248   | 147<br>1465<br>147<br>147<br>147<br>147<br>147<br>147<br>147<br>147<br>147  | C1988 C1987 C1987 C1987 C1987 C1987 C1983 C1988 C1988  | -  | 4,812.57<br>23,337.35<br>2,346.52<br>11,486.75<br>12,387.89<br>2,486.87<br>2,386.33<br>2,686.87   |           |   | <ul> <li>· · ZA</li> <li>· · ZA</li> <li>· · · · · · · · · · · · · · · · · · ·</li></ul>   | - 2,000 - 2,00  | 400271<br>400273<br>400053<br>400060<br>400060<br>400060   |        |  |
| During Names Limbed Reng Names Re   | BYILD Reveals (Link)         BYINGHOLD STREET,   | A set of the set of th       | 22.02.06<br>22.04.11.09.24.02.24<br>23.06.10<br>27.06.10<br>27.06.10<br>11.06.06<br>22.06.12  | Witchang with         Skrifter           Halten Cam         Skrifter           Halten Cam         Skrifter           Kultger Cam         Skrifter           Machang with         Skrifter           Witchang with         Skrifter           Witchang with         Skrifter           Witchang with         Skrifter           Witchang with         Skrifter   |   | 1100000 111000000   | 10000000<br>20001<br>2 year drange phones<br>10000000<br>10000000<br>10000000  | Separationship           Investigation of neiting sections and splitter flag, increases of the finance section. Section of the intervent section of the intervent section. Section of the intervent section of the intervent section. Section of the intervent section of the intervent section. Section of the intervent section of the intervent section. Section of the intervent section of the intervent section. Section of the intervent section of the intervent section. Section of the intervent section of the interv   | Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>anteles Gostes<br>Onteles Taylor<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Materiagos<br>Mat | 228<br>228<br>228<br>228<br>238<br>238<br>238<br>238  | 1427<br>1405<br>1427<br>1527<br>1527<br>1425<br>1425,4009 5284025<br>1427   | C1988<br>C1989<br>C1989<br>C1987<br>C1987<br>C1980<br>C1988  | -         Stat           -         Stat | 4,881,67<br>23,507,55<br>2,766,52<br>13,488,75<br>12,267,69<br>2,266,87<br>2,284,33   |           |   |  | - 2,001 - 2,002 - 2,00  | A30271<br>A20379<br>A20379<br>A30299<br>A30299<br>A30299   |        |  |
| Sturing Homes Limbed<br>Manay Normes<br>Beauss Securities Limbed<br>Beauss Securities Limbed<br>Beauss Securities Limbed<br>Homesport for Limbed<br>Highlite Examples Distance<br>Beausy Security Security Security Security<br>Highlite Examples Security Security Security<br>Beausy Security Security Security Security Security<br>Security Security Security Security Security Security Security<br>Security Security Sec  | B/0126 American, Luchar NJ, Dir Willingson, Diram Statistics, Linken Kall, Statistics, NJ, Bill, Charlos Ka  | A set of a s       | 2224<br>24109244<br>24109244<br>2510<br>2510<br>2510<br>2510<br>2510<br>2510<br>2510          | Witchesyn W         Skrifters           Witchesyn W         Skrifters           Paters Cam         Skrifters           Langes Cams         Skrifters           Matheway M         Skrifters           Witchesyn M         Skrifters           Witchesyn M         Skrifters           Witchesyn M         Skrifters           Matheway M         Skrifters           Witchesyn M         Skrifters           Witchesyn M         Skrifters           Witchesyn M         Skrifters  |   | 11,000,00<br>20,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,00<br>11,000,000   | 14030045<br>3883<br>3883<br>3985<br>4985045<br>4030045<br>4030045<br>4030045<br>4030045  | Separationship           Investigation of neiting sections and splitter flag, increases of the finance section. Section of the intervent section of the intervent section. Section of the intervent section of the intervent section. Section of the intervent section of the intervent section. Section of the intervent section of the intervent section. Section of the intervent section of the intervent section. Section of the intervent section of the intervent section. Section of the intervent section of the interv   | Mithed Pages<br>Mithee Kens<br>Mariney Marin<br>Mariney Marine<br>Mariney Mariney<br>Mariney Watthe<br>Mariney Watthe<br>Mariney Watthe   | 248<br>248<br>248<br>248<br>248<br>248<br>248<br>248<br>248   | 147<br>1465<br>147<br>147<br>147<br>147<br>147<br>147<br>147<br>147<br>147  | C1988 C1987 C1987 C1987 C1987 C1987 C1983 C1988 C1988  | -  | 4,812.57<br>23,337.35<br>2,346.52<br>11,486.75<br>12,287.89<br>2,486.87<br>2,286.33<br>2,686.87   |           |   | <ul> <li>· · ZA</li> <li>· · ZA</li> <li>· · · · · · · · · · · · · · · · · · ·</li></ul>   | - 2,000 - 2,00  | 400271<br>400273<br>400053<br>400060<br>400060<br>400060   |        |  |
| Souly forest loaded<br>Newsy Yones<br>Reserve Socialities United<br>Reserve Socialities United<br>Reserve Socialities United<br>Socialities United<br>Socialities United<br>Reserve Socialities United<br>Reser  | BYDE APP was provided and provided  | A set of the set of th       |   | Witchess Wit         Skringer           Witchess Wit         Skringer           Patens Gan         Skringer           Langers Gans         Skringer           Machana Mill         Skringer           Witchess Mill         Skringer           Cabiners         Skringer           Cabiners         Skringer  |   |  | 4030005<br>3933<br>3933<br>3945 design generat<br>4030005<br>4030005<br>4030005<br>595005<br>595005<br>595005  | Peper-Contains     Peper-Contains     Income and a result of the second se   | Mithar Jopes<br>Mithar Jopes<br>Mithar Watts<br>Mithar Watts<br>Mithare Watts<br>Mithare Watts<br>Mithare Mithar<br>Mithare Mithar<br>Mithare Watts<br>Mithare Watts<br>Mithare Watts<br>Mithare Watts  | 45<br>45<br>46<br>46<br>46<br>46<br>46<br>46<br>46<br>46<br>46<br>46<br>46  | لیں<br>بیری اور   | C1988<br>C1988<br>C1987<br>C1987<br>C1988<br>C1988<br>C1988<br>C1988<br>C1988<br>C1988<br>C1988  |  | A.BLO           2.027.6           2.051.2           L.BE21           L.286.87           2.064.87           2.064.81           2.064.81           5.024.81   |           |   | ·          | . 488.1<br>. 2483.8<br><br><br><br>   | A30271<br>A30253<br>A30254<br>A30564<br>A30566<br>A30566<br>A30566   |        |  |
| Encloy traves Looked Interve Towns Record Free Process Record Free Proces Record Free Process Record Free Proces Record Free Proces Record Free Process Record Free Pr   | BYILD Reveals ALL DIF VIRTUALIZATION           BYILD Reveals ALL DIFFERENCE           Charter Sile Prints, L., Charther Stati, L.,   | <ul> <li>A set of a set of</li></ul> | 2225<br>3273<br>235109324<br>2550<br>2550<br>2550<br>2550<br>2550<br>2550<br>2550<br>25       | Witchess Wit         Skröger           Witchess Wit         Skröger           Paters Sam         Skröger           Langen Gass         Skröger           Witchess Wit         Skröger           Witchess Witches         Skröger           Witchess Witches         Skröger           Witchess Witches         Skröger           Witchess Witches         Skröger           Galansen         Skröger           Calation         Skröger           Ochlansen         Skröger           Ochlansen         Skröger           Witchess Wit         Skröger  |   | L10000     L1000     L1000 | 4000045<br>3933<br>3933<br>3934 despe passed<br>4000045<br>4000045<br>4000045<br>4000045<br>3000045<br>3000045<br>3000045<br>3000045<br>3000045  | Person Contention     Person Contention     Section 2014 (Section 2014)     Section 2014  | Mithar Paper<br>Mithar Netton<br>Mithar Netton<br>Mithar Netton<br>Mithare Netton<br>Mithare Netton<br>Mithare Netton<br>Mithare Netton<br>Mithare Netton<br>Mithare Netton   | 25<br>25<br>26<br>26<br>26<br>26<br>26<br>26<br>26<br>26<br>26<br>26<br>26<br>26  | لیں<br>اس اس ا   | C1888 C1885 C1885 C1885 C1885 C1885 C1886  | -  | KH147           200726           200726           200727           200726           200726           200727           200726           200727           200726           200727           200727           200728           200728           200729           200   |           |   | 44         -   | - 2000 -   | A30271<br>A30274<br>A30254<br>A30594<br>A30594<br>A30595<br>A30595<br>A30595<br>A30595<br>A30595           |        |  |
| Souly forest loaded<br>Newsy Yones<br>Reserve Socialities United<br>Reserve Socialities United<br>Reserve Socialities United<br>Socialities United<br>Socialities United<br>Reserve Socialities United<br>Reser  | BYILD Reveals ALL DIF VIRTUALIZATION           BYILD Reveals ALL DIFFERENCE           Charter Sile Prints, L., Charther Stati, L.,   | A set of a s       | 2006<br>2010<br>2010<br>2010<br>2010<br>2010<br>2010<br>2010                                  | Witchess Wit         Skringer           Witchess Wit         Skringer           Patens Gan         Skringer           Langers Gans         Skringer           Machana Mill         Skringer           Witchess Mill         Skringer           Cabiners         Skringer           Cabiners         Skringer  |   | L10000     L1000     L1000 | 4030005<br>3933<br>3933<br>3945 design generat<br>4030005<br>4030005<br>4030005<br>595005<br>595005<br>595005  | Person Contains     Person Contains     Person Contains     Person Contains     Person     Per   | Mithar Jopes<br>Mithar Jopes<br>Mithar Watts<br>Mithar Watts<br>Mithare Watts<br>Mithare Watts<br>Mithare Mithar<br>Mithare Mithar<br>Mithare Watts<br>Mithare Watts<br>Mithare Watts<br>Mithare Watts  | 45<br>45<br>46<br>46<br>46<br>46<br>46<br>46<br>46<br>46<br>46<br>46<br>46  | لیں<br>بیری اور   | C1988<br>C1988<br>C1987<br>C1987<br>C1988<br>C1988<br>C1988<br>C1988<br>C1988<br>C1988<br>C1988  |  | KH147           200726           200726           200727           200727           200726           200727           200728           200729           207   |           |   | ·          | - 488.5<br>- 2483.5<br>- 483.5<br>- | A30271<br>A30253<br>A30254<br>A30564<br>A30566<br>A30566<br>A30566   |        |  |
| Encloy traves Looked Interve Towns Record Free Process Record Free Proces Record Free Process Record Free Proces Record Free Proces Record Free Process Record Free Pr   | BYILD Reveals ALL DIF VIRTUALIZATION           BYILD Reveals ALL DIFFERENCE           Charter Sile Prints, L., Charther Stati, L.,   | A second and a sec       | 2225<br>3273<br>235109324<br>2550<br>2550<br>2550<br>2550<br>2550<br>2550<br>2550<br>25       | Witchess Wit         Skröger           Witchess Wit         Skröger           Paters Sam         Skröger           Langen Gass         Skröger           Witchess Wit         Skröger           Witchess Witches         Skröger           Witchess Witches         Skröger           Witchess Witches         Skröger           Witchess Witches         Skröger           Galansen         Skröger           Calation         Skröger           Ochlansen         Skröger           Ochlansen         Skröger           Witchess Wit         Skröger  |   | L10000     L1000     L1000 | 4000045<br>3933<br>3933<br>3934 despe passed<br>4000045<br>4000045<br>4000045<br>4000045<br>3000045<br>3000045<br>3000045<br>3000045<br>3000045  | Person Contains     Person Contains     Person Contains     Person Contains     Person     Per   | Mithar Paper<br>Mithar Netton<br>Mithar Netton<br>Mithar Netton<br>Mithare Netton<br>Mithare Netton<br>Mithare Netton<br>Mithare Netton<br>Mithare Netton<br>Mithare Netton   | 25<br>25<br>26<br>26<br>26<br>26<br>26<br>26<br>26<br>26<br>26<br>26<br>26<br>26  | لیں<br>اس اس ا   | C1888 C1885 C1885 C1885 C1885 C1885 C1886  | -  | KH147           200726           200726           200727           200726           200726           200727           200726           200727           200726           200727           200727           200728           200728           200729           200   |           |   | 44         -   | - 2000 -   | A30271<br>A30274<br>A30254<br>A30594<br>A30594<br>A30595<br>A30595<br>A30595<br>A30595<br>A30595           |        |  |
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4030005<br>31933<br>31933<br>31935<br>4030005<br>4030005<br>4030005<br>4030005<br>3090005<br>4030005<br>4030005<br>4030005<br>4030005<br>4030005<br>4030005<br>4030005<br>4030005<br>4030005<br>4030005<br>4030005<br>4030005<br>4030005<br>4030005<br>4030005<br>4030005<br>4030005<br>4030005<br>4030005<br>4030005<br>4030005<br>4030005<br>4030005<br>4030005<br>4030005<br>4030005<br>4030005<br>4030005<br>4030005<br>4030005<br>4030005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>4030005<br>4030005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>403005<br>400005<br>400005<br>400005<br>400005<br>400005<br>400005<br>400005<br>400005<br>400005<br>400005<br>400005<br>400005<br>400005<br>400005<br>400005<br>400005<br>400005<br>400005<br>400005<br>400005<br>400005<br>400005<br>400000000 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|           |   |  | 28883           28883           -           1.00.5           -           2.00.8           -           2.00.8           -           2.00.8           -           2.00.8           -           2.00.8           -           2.00.8           -           2.00.8           -           2.00.8           -           2.00.8           -           2.00.8           -           2.00.8           -           2.00.8           -           2.00.8           -           2.00.8           -           2.00.8           -           2.00.8           -           2.00.8           -           2.00.8  | A30271<br>A30274<br>A30254<br>A30594<br>A30594<br>A30595<br>A30595<br>A30595<br>A30595<br>A30595           |        |  |
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Habaras Witchesses         Skröger           Habaras Witchesses         Skröger           Katens         Skröger   |   |  | 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|           |   |  | 28883           28883           -           1.00.5           -           2.00.8           -           2.00.8           -           2.00.8           -           2.00.8           -           2.00.8           -           2.00.8           -           2.00.8           -           2.00.8           -           2.00.8           -           2.00.8           -           2.00.8           -           2.00.8           -           2.00.8           -           2.00.8           -           2.00.8           -           2.00.8           -           2.00.8           -           2.00.8  | A30271<br>A30274<br>A30254<br>A30594<br>A30594<br>A30595<br>A30595<br>A30595<br>A30595<br>A30595           |        |  |
| Design there is should<br>be a set of the set o  | NYL Seven Lang, Lushan H, Li Dir Willight           Olar Seine Lang, Lushan H, Li Dir Willight           Churr Seine Thing, L. Davahon H, Li Dir Willight           Lang Seine Lang, Lushan Lang, Lushan Li Dir Willight           Lang Seine Lang, Lushan Lang, Lushan Li Dir Willight           Lang Seine Lang, Lushan Li Dir Willight           Lang Seine Lang Merger Lang Lang Lang Lang Lang Lang Lang Lang   | <ul> <li>An and a start of a start of a start of a start plants to use of an any spacing start plant 2 is defined a start 2 is defi</li></ul> | 268<br>3673<br>38730<br>3883<br>4883<br>4883<br>4883<br>4883<br>4883<br>4883<br>48            | Witchness No         Juingen           Witchness No         Juingen           Rates Case         Juingen           Langen Case         Juingen           Witchness No         Juingen           Cultime         Juingen           Cultime         Juingen           Cultime         Juingen   | Image: Control of Con |  | 400004<br>3801<br>3900 4000 410 4000 400<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>4000004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>4000000   | Prevancesson     P   | Mohar Jugar<br>Mohar Jugar<br>Mahar Jugar<br>Mahar Jugar<br>Mahar Jugar<br>Mahar Mahar<br>Mahar Mahar Mahar<br>Mahar Mahar Mahar<br>Mahar Mahar Mahar<br>Mahar Mahar Mahar<br>Mahar Mahar Mahar<br>Mahar Mahar Mahar Mahar<br>Mahar Mahar Mahar Mahar<br>Mahar Mahar Mahar Mahar<br>Mahar Mahar  | 34<br>34<br>34<br>34<br>34<br>34<br>34<br>34<br>34<br>34<br>34<br>34<br>34<br>3   | че<br>мас<br>че<br>че<br>че<br>мас<br>че<br>мас<br>че<br>че<br>че<br>че<br>че<br>че<br>че<br>че<br>че<br>че<br>че<br>че<br>че   | Class  | <ul> <li> <ul> <li> <ul> <li></li></ul></li></ul></li></ul>  | ABLO     AU   |           |   | ·          | 1488.13           1488.13           1           <   | A000271<br>A000300<br>A000300<br>A000300<br>A000300<br>A000300<br>A000300<br>A000300<br>A000300<br>A000300 |        |  |
| Design there is should<br>be a set of the set o  | NYL Seven Lang, Lushan H, Li Dir Willight           Olar Seine Lang, Lushan H, Li Dir Willight           Churr Seine Thing, L. Davahon H, Li Dir Willight           Lang Seine Lang, Lushan Lang, Lushan Li Dir Willight           Lang Seine Lang, Lushan Lang, Lushan Li Dir Willight           Lang Seine Lang, Lushan Li Dir Willight           Lang Seine Lang Merger Lang Lang Lang Lang Lang Lang Lang Lang   | A set of a s       |   | Witchness No         Juingen           Witchness No         Juingen           Rates Case         Juingen           Langen Case         Juingen           Witchness No         Juingen           Cultime         Juingen           Cultime         Juingen           Cultime         Juingen   | Image: Control of Con |  | 400004<br>3801<br>3900 4000 410 4000 400<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>4000004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>4000000   | Prevancesson     P   | Mohar Jugar<br>Mohar Jugar<br>Mahar Jugar<br>Mahar Jugar<br>Mahar Jugar<br>Mahar Mahar<br>Mahar Mahar Mahar<br>Mahar Mahar Mahar<br>Mahar Mahar Mahar<br>Mahar Mahar Mahar<br>Mahar Mahar Mahar<br>Mahar Mahar Mahar Mahar<br>Mahar Mahar Mahar Mahar<br>Mahar Mahar Mahar Mahar<br>Mahar Mahar  | 34<br>34<br>34<br>34<br>34<br>34<br>34<br>34<br>34<br>34<br>34<br>34<br>34<br>3   | че<br>мас<br>че<br>че<br>че<br>мас<br>че<br>мас<br>че<br>че<br>че<br>че<br>че<br>че<br>че<br>че<br>че<br>че<br>че<br>че<br>че   | Class  | <ul> <li> <ul> <li> <ul> <li></li></ul></li></ul></li></ul>  | ABLO     AU   |           |   | ·          | 1488.13           1488.13           1           <   | A000271<br>A000300<br>A000300<br>A000300<br>A000300<br>A000300<br>A000300<br>A000300<br>A000300<br>A000300 |        |  |
| Design there is should<br>be a set of the set o  | NYL Seven Lang, Lushan H, Li Dir Willight           Olar Seine Lang, Lushan H, Li Dir Willight           Churr Seine Thing, L. Davahon H, Li Dir Willight           Lang Seine Lang, Lushan Lang, Lushan Li Dir Willight           Lang Seine Lang, Lushan Lang, Lushan Li Dir Willight           Lang Seine Lang, Lushan Li Dir Willight           Lang Seine Lang Merger Lang Lang Lang Lang Lang Lang Lang Lang   | A set of a s       |   | Witchness No         Juingen           Witchness No         Juingen           Rates Case         Juingen           Langen Case         Juingen           Witchness No         Juingen           Cultime         Juingen           Cultime         Juingen           Cultime         Juingen   | Image: Control of Con |  | 400004<br>3801<br>3900 4000 410 4000 400<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>4000004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>400004<br>4000000   | Prevances   | Mohar Jugar<br>Mohar Jugar<br>Mahar Jugar<br>Mahar Jugar<br>Mahar Jugar<br>Mahar Mahar<br>Mahar Mahar Mahar<br>Mahar Mahar Mahar<br>Mahar Mahar Mahar<br>Mahar Mahar Mahar<br>Mahar Mahar Mahar<br>Mahar Mahar Mahar Mahar<br>Mahar Mahar Mahar Mahar<br>Mahar Mahar Mahar Mahar Mahar Mahar<br>Mahar Mahar  | 34<br>34<br>34<br>34<br>34<br>34<br>34<br>34<br>34<br>34<br>34<br>34<br>34<br>3   | че<br>мас<br>че<br>че<br>че<br>мас<br>че<br>мас<br>че<br>че<br>че<br>че<br>че<br>че<br>че<br>че<br>че<br>че<br>че<br>че<br>че   | Class  | <ul> <li> <ul> <li> <ul> <li></li></ul></li></ul></li></ul>  | ABLO     AU   |           |   | ·          | 1488.13           1488.13           1           <   | A000271<br>A000300<br>A000300<br>A000300<br>A000300<br>A000300<br>A000300<br>A000300<br>A000300<br>A000300 |        |  |
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| Entry News Look<br>Recent Security Links<br>Recent Recent Recent Security<br>Recent Recent Recent Recent<br>Recent Recent Recent Recent Recent<br>Recent Recent Recent Recent Recent<br>Recent Recent Recent Recent Recent<br>Recent Recent Recent Recent Recent Recent Recent<br>Recent Recent Recent Recent Recent Recent Recent Recent Recent<br>Recent Recent   | BYDE OF HULL THE LINE OF PURPHED<br>THE DESIGN OF THE DESIGN OF PURPHED<br>THE DESIGN OF THE DESIGN OF PURPHED<br>THE DESIGN OF THE DESIGN OF THE DESIGN OF THE DESIGN OF THE<br>DESIGN OF THE DESIGN OF   | Example and whether and we can be approximate to and a security be       |   | Langer Control         Langer Control           Witchman Keil         Langer Control           Langer Control         Langer Control           Langer Control         Langer Control           Mathema Keil         Langer Control           Cashteen         Langer Control           Cashteen         Langer Control           Cashteen         Langer Control           Langer Control         Langer Control           Langer Contro         Langer Contro  |   |  |  | Instantion     Figure Contains       Instantion of antipage expension instructure and antipage expension instructure antinstructure antipage expension instructure antipage expens  |   | 326<br>326<br>326<br>326<br>326<br>326<br>326<br>326<br>326<br>326  |   | Clair  | <ul> <li> <ul> <li> <ul> <li></li></ul></li></ul></li></ul>  | 3.88.07         2           3.0376         2           3.0376         2           3.0427         2           3.0427         2           3.0427         2           3.0427         2           3.0427         2           3.0427         2           3.0427         2           3.0427         2           3.0427         2           3.0427         2           3.0427         2           3.0427         2           3.0427         2           3.0427         2           3.0428         2           3.0428         2           3.0429         2           3.0429         2           3.0429         2           3.0429         2           3.0429         2           3.0429         2           3.0429         2           3.0429         2           3.0429         2           3.0429         2           3.0429         2  |           |   | 34.0         -           84.0         -  | ·         3.00.00           ·         3.00.00           ·         1.00.00           ·         3.00.00           ·   | A000271<br>A000300<br>A000300<br>A000300<br>A000300<br>A000300<br>A000300<br>A000300<br>A000300<br>A000300 |        |  |

			1																			
	244-262 Bowes Road and land at the rear of 194- 242 Bowes Road London N11 284; P12-03179PLA	Conversion of property into 4 self contained flats comprising 2 s1 bed and 2 x 2 bed insolving single storay rear extension , extension to roof at side insolving side dormer windows.		Rowes	Southgete	352,562.00		years, or 15 for the highway bond, interest accrued should also be returned	Bus Stop Contribution	David Taylor	REE	167	CT0424	\$4325	- 9,857.77				28.08	- 9,085.85		
Telida Limited and Galveston Investments S.A	Truro House, 176 Green Lanes, N13 TP/08/2244	Restoration and repair of Truto House as a single family dwelling, convention of Couch House to a single family dwelling involving denotition of existing workshop and external alterations, together with exection of a total of 25 residential units	02.09.14	Paimers Green	Southgete	11,200.00	10,000.00	No Deadline	Highways Contribution	David Taylor	REE	147	C70411	94305	- 20,067.20				21.20	- 10,098.40		
New Ladlerwood LLP	Loberwood Intels, Source by, Saton Road, Pattern Road and Opper Vick Road, London, NIL PERSONNA	The set is a set of the set of t	5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5	Southgote Green	Southgets	2,403,603.42	93,854.22 To be corre	ventilted within ten yans of the data of reacy) of pagement	Dillare Contraine research out Analysis and the second the east well assemble and Broger Analog and the commutate	Satth Reading	20	890	C79628	8035	- 8,9653				38	- 6,071.49		
New Laderwood LIP	Lodersecol Tataia, Rondie Ng, Sarian Road, Patiene Road anti Spar Faik Road, London, Ni Filo Sciencifica	An advantage of the straining of the straining of the straining s	5 462 14, Dov 16 (0.15	Southgate Green	Southgete	2,402,682.42	20,000.00 To be come	montipud welline tare yares of the data of rescape of g	OFCombation In fast the consultation for the fragments of a control of packing core within the within of the distancement	David Taylor	85	347	CT0640	803	- 2,36.0					- 26,78.81		
New Ladienwood LLP	Ladorusco Fittels, Roardo Fig. Statis Road, Palmers Road and Upper Fack Road, Lendon, NII P12-02207A	Busice standards and the standard densities of an analysis busices and the standards and standards of a standard SE of the standards and	-	Southgate Green	Southgete	2,401,693.42	536,576.00 To be core	molitied within two parts of the data of wange of payment	Realty Carolination or the provided of the second of the second of the second of the Realty of the shadow the second of the second of	Stabil Almost	NUMACE	PUBLICHERCTH	CT0642	800	- 7,648				22.00	. 7µБЪ Ф		
New Ladlerwood LLP	Ladersecol Tatas, Rovele Ly, Sartas Road, Patene Road and Opper Paik Road, Laders, N.I. P.J. 502000.4	The set of the strength of th		Southgate Green	Southgets	2,403,683.42	288,000.00 To be com	ventified within ten yans of the data of reacypt of pagement	Non space disservants Costitution In Sou of another and Posterior International Intern	Matt Worths	885	PARIS	стана	8035	- 20,000.00				10	- 24,11.60		
New Laderwape (LP	Laddrawood Falana, Baardhel Ya, Dataion Road, Patnera Road and Ugayar Yank Kaad, Landon, NLT PEJ G2220PA	Since the second secon	5 5 6 8 546214, Dov 1683.15 1	Southgate Green	Southgets	2,403,403.42	20,000.00 To be com	emetted within ten yans of the data of receipt of payment	PEEL Auß and Generacy represented, Contribution for the relation of the adding bacterian. The Aug Strategies and the adding bacterian of the adding backwards and an equilated another of pilot sheadness in the Sciences	David Taylor	au.	τ	CTORE	84335	- 20,952.00					- 34355.24		
Arsen (LiK) Limited	54-55 Elm Park Road, London N21 245 P13-	from UpperPack Road, adjacent to Bethpath House to south of the site within the communal amenity area.	22.08.14	Winchmore Hill	Southgate	\$7,135.81	10,000.00	within 10 years of date of neceipt	Highways Contributions	David Taylor	REC	147	CT0412	8435	- 4,702.71				14.52	- 471522	A20012	<u> </u>
Shiny Star Numery Limited	00992PLA 329 North Circular Road London N13 SEL	Denolition of existing building and construction of a struce 3 a 3- bed single family devillage with rear domen, off theret parking to front, optimating, and construction of a struce 3 a 3- bed single family devillage with rear domen, off theret parking to front,	12.05.14	Palmers Green	Southgate	2,583.00	2,662.00	No Deadline b	Highways improvement Contribution Highways improvement Contribution owards the cost of altering the traffic order and provision of double yellow lines at	David Taylor	REE	w	CT0425	84335	- 2,05.82				7.68	- 2,483.50		
Origin Properties Limited (Owner)	Relating to the development of 109 Station Road, London N11 1QH	Redevelopment of site to provide a part 5, part 6 storey block of 44 residential units (comprising 14 x 1 bed, 25k2 bed and 4 x3 bed self contained flats and 1 x3 bed maincentre) with bakconies and san terraces to front, side and rear, sin and cycle storage and plant rooms at	11.09.15	Southgate Green	Southgate	196,231.40	5,000.00 To be spent 0	t OR committed within 10 years from date of receipt	the junction of the nikorth Circular Road and Ulitter Cardens Controlled Parking Contribution to fund the consultation for and expansion of a CP2 in the vicinity of the development.	Dominic Millen	REE	167	CT0452	84209	- 5,026.05				15.40	· 5,041.65		
Origin Properties Limited (Owner)	Relating to the development of 329 Station Road, London N11 1QH	Redevelopment of site to provide a part 5, part 6 storey block of 44 residential units (comprising 14 x 1 bed, 25x2 bed and 4 x3 bed self	11.09.15	Southgate Green	Southgete	196,231.40		t QR committed within 10 years from date of receipt	In the woning or the development. Parking Restriction Contribution towards the cost of alterations to the current parking restrictions at the northern end of the site	Dominic Millen	RAL	w	CT0449	84325	- 3,015.66			-	9.36	- 3,025.02		
Origin Properties Limited (Owner)	Relating to the development of 109 Station Road, London N11 10/H	certained first and L3 bet maintening with balancies and summers to three, bits and cycle target and paint terms at Bedwebpetter of the top provide grant paint faiture placed of H middenia rule. Journal paint and L3 baland 4.3 being Caratard Hists and L3 beta maintening with balance and summers to three, data and the size target baland 4.3 being Bedwebpetter of size to provide a grant paint of three sizes and summers to three, data and the size target baland 4.3 being Bedwebpetter of size to provide a grant paint of three sizes and targets and the size target and paint terms at grant filter and another distribution.	11.09.15	Southgate Green	Southgete	196,231.40	75,000.00 To be spent 0	t OR committed within 10 years from date of receipt	FGRS Audt and Greenways Cycle Enfield - detailed list of obligations included in PF of SDGE agreement	Dominic Millen	RAE	w	CT0450	81329	- 75,291.24				223.76	- 75,625.00		
Origin Properties Limited (Owner)	Relating to the development of 109 Station Road, London N11 10H		11.09.15	Southgate Green	Southgate	186,231.40	3,431.40 To be spent 0	t OR committed within 10 years from date of receipt	Towel Plan Monitoring Fee	Dominic Millen	REE	167	CT0651	84325	- 3,449.29				10.66	. 3,458.97		
EFG Private Bank & Ara Berj Ashdjian Yogo Group	359 Cockfosters Road Barnet EN14 O/T P12- 02220PLA	mount floor and associated indexcase. Demolition of existing developments and grapp, and encoder of a 3-3-bet floir within 3-2-actively halding incorporating accommodation within the roof space, firster, side and rear dormer windows, front and war roof terraces, basement parking, gated entrace and detached	11.07.13	Cackfosters	Southgate	795,019.24	55,263.68 W	Within 10 years of the date of payment	Education to provide additional educational facilities within the Borough	K. Rowley	SEG	80	CT0447	84325	- 34,556.44				107.40	- 34,763,84		
EFG Private Bank & Ara Berj Ashdjian Yogo Group	359 Cockfosters Road Barnet EN14 O/T P12- 02220PLA	concirge building to front. Demolition of existing dwellinghouse and gazage, and ereasion of a 3-bed this within a 3-storey building incorporating accommodation within the roof space, fixed, side and rear dormer windows, front and mar root terraces, basement parking, gated entrance and detached	11.07.13	Cackfosters	Southgate	795,029.24	10,000.00 w	Within 10 years of the date of payment	Sustainable Transport Contribution for sustainable transport	David Taylor	RAE	w	CTOHS	81329	- 7,360.28				22.20	- 7,182.48		
		concirner building to foot. Demolition of existing properties and construction of 33 new residential units with associated car parking and amenity space, comprising Site A (35-32 Tellard Road) exection of a part 4, part 4, blocks of 32 unit (24 3-bed maintonetters, 34 5-bed filters) +x2-bed filters) with																				
Notting Hill Housing Trust	5-23 Telford Road and 233-237 Bowes Road N11 2RA (Aks Ste 14)	Demotions of webing properties and communition of 31 new moderatia with succitated car perting and amenity space, computing Sava A (2-2) Thinton Round mentions at part 2, part 3, part 4, back of 22 aming 12 a 3 better interventions. In 2 better into a similar web and the state of the stat	5 18.12.2015 s	Bowes	Southgate	246,342.00	5,000.00	No Deadine	Air Quality	Robert Oles	REC	DM	CT0867	\$4329	- 5,021.52				15.60	- 5,697.12		
Notting Hill Housing Trust	5-23 Telford Road and 233-237 Bowes Road N11 28A (Ma Ste 14)	Denotition of naining properties as construction of 31 even material with with an activation of a soft any part of the part of	5 18.12.2015 4	Bowes	Southgete	246,342.00	7,000.00	No Deadline	Highways Contribution	David Taylor	REC	147	CTONEA	84305	- 3,012.96				13	- 3,622.32		
Notting Hill Housing Trust	5-23 Telford Road and 233-237 Bowes Road N11 2RA (Aka Site 14)	Denotion of mining properties and communition of 12 new ministerial with with suscitated carpaning and memity space, comprising 1984 AS Q-53 Definitional denotes into at para 2 para 1 park ( black of 1 parts 2 part at ministerions, 12 a bed (fraz, 2-2 part frag) with access to livenumy Jenuma; Sine 14/2-Be Tefords Rand, exection of a part 2, part 2, part 4 news (black of 5 commy black of 6 commy a 2-bed (fraz, 7-2 part frag) with access to Rand) Rand, Sine 2, Sine 7, part 2, part 3, parts (black of 6 commy black o	5 18.12.2015	Rowes	Southgate	246,342.00	50,000.00	No Geodine	Nghway research works contribution	David Taylor	REC	78.7	CT0865	84329	- 49,014.21				151.02	- 48,166.23		
Notting Hill Housing Trust	5-23 Telford Road and 233-237 Bowes Road N11 2RA (Mas Site 14)	Denotisis of wixing properties and construction of 32 new residential with with suscitated carpaning and anneshy space, comprising Serk ASS-37 Inter Band, rescion of a part 2, part 2, part 4, back wit 21 with (p. 3 + 34e minisorters, 3 + 1-34e find pairs) access to Newraw, Newraw, Serk 143-69 Official Read enection of a part 2, part 4, part 4 source (p. 100 of 15 with (p. 3 + 32-bed find) with a + 3-bed find, 7 + 2-bed find) with Server to Band Read Read Read Read Read Read Read Rea	5 18.12.2015	Bowes	Southgete	246,342.00	30,000.00	No Deadine	Open Space	Matt Watts	REC	PHEIS	CT0666	8125	- 20,129.28				91.36	- 30,222.64		
The Foyle Foundation	Gwallor House Avenue Road N 14 4DS TP/11/1307	Erection of 9 xk bed 3 storey houses(together with garaging, caport and parking provision, raking of ground levels, landscaping and amenity space provision, vehicular access provision, two pedestrian foctpath links and amendment of existing pagement dated 2bit Constanted a 2015 (nonsense) in devices to dated by the deletion risus 8 km and/a devicement of mixete ones trace lines to a set of the set of the set of the deletion to date the deletion risus 8 km and/a devicement of mixete ones trace lines to the deletion of the set of the deletion to date the deletion risus 8 km and/a devicement of mixete ones trace lines to the deletion of the deletion to date the deletion risus 8 km and/a devicement of mixete ones the deletion of the deletion risus 8 km and/a devicement of mixete ones the deletion of the deletion risus 8 km and/a devicement of mixete ones the deletion of the deletion risus 8 km and/a devicement of mixete ones the deletion of the deletion risus 8 km and/a devicement of mixete ones the deletion of the deletion risus 8 km and/a devicement of mixete ones the deletion of the deletion of the deletion risus 8 km and/a devicement of mixete ones the risus 8 km and/a devicement of mixete ones the deletion of the deletion risus 8 km and/a devicement of mixete ones the deletion of the deletion risus 8 km and/a devicement of mixete ones the deletion of the deletion risus 8 km and/a devicement of mixete ones the deletion of the deletion risus 8 km and/a devicement of mixete ones the deletion of the deletion risus 8 km and/a devicement of mixete ones the deletion of the deletion risus 8 km and/a devicement of mixete ones the deletion of the deletio	26.07.13	Cockfosters	Southgete	440,402.00	20,000.00	Within 10 years of date of payment	Open Space contribution towards the provision or improvement of off site open space in Galewood Park	Matt Watts	Open Space contribution towards the provision or improvement of off site open	PARKS	CT0473	91329	- 20,068.07				62.16	- 20,130.23		
The Foyle Foundation	Gwallor House Avenue Road N 14 405 TP/11/1307	Gwallor House, Avenue Road, London). Erection of 9 xil bed ( 3 storey house) together with paraeline, carbort and parkine provision, rakine of eround levels, landscadine and	26.07.13	Cockfosters	Southgate	440,402.00	20,000.00	Within 10 years of date of payment	Rightage confliction Rightage confliction towards hightage improvements within the vicinity of the development size	David Taylor	space in Oakwood Park Hefways contribution	167	CT0672	8029	- 20,074.10			1	6.28	- 20,136.28		
		amenty uses provides, website access provides, two performances program biols and memoryment of evolving logic agreement and 2216 September 1925 (properties indications to classifications) of performances and the sound and evolvement of private spaces process that Beacher Instances and an anti-space and anti-space and anti-space and anti-space and anti- dependence and anti-space and anti-space and anti-space and anti-space and anti- ance and anti-space anti-space and anti-space anti-space anti-space and anti- ance and anti-space anti-space anti-space anti-space anti-space anti-space anti- ance and anti-space anti-space anti-space anti-space anti-space anti- space anti-space anti-space anti-space anti-space anti-space anti- space anti-space anti-space anti-space anti-space anti-space anti-space anti- space anti-space anti-space anti-space anti-space anti-space anti-space anti- space anti-space anti-space anti-space anti-space anti-space anti- space anti-space anti-space anti-space anti-space anti-space anti-space anti- space anti-space anti-space anti-space anti-space anti- space anti-space anti-space anti-space anti-space anti-space anti- space anti-space anti-space anti-space anti-space anti-space anti-space anti- space anti-space anti-space anti-space anti-space anti-space anti-space anti-space anti-space anti-space anti- space anti-space anti-space anti- 									towards highways improvements within the vicinity of the development site											<u> </u>
Kuros Consultants and Eurobank Cyprus Ltd	65-75 High Street Southgate London N 14 ELD 914 022439LA	2no AJA201 Junt. 2. Formation new retraces and new staincase to serve upper level finit from the High Street. 3. Removal of Hear external stainceses. 4. Reconfiguration of parking bays. 5. Increase height of annexity deck areas. 6. Alterations to shop fronts. 7. Alterations to near elevation at ensued floor level	18.08.2011, DoV 12.02.2016	6 Southgate	Southgete	20,000.00	20,000.00	Within 50 years of date of payment	Highway Works	Mick Pond	REE	167	C10475	8135	- 8,282.45	_		<u> </u>	2.0	- 8,308.14	<u>↓ ↓ ↓ ↓ </u>	+
London Community Learning Trust	Ladyumith Road, Edmonton, Enfield London N18 2QR: 34/04205/RUL	Exection of a part single, part 2-storey 420 place primary school for pupils aged 4-11 years, provision of multi-use geness area (MUGA), soft and hard surfaced play areas, associated binducaping, perimeter fencing and car and cycle period accessed from Abany Road	t 19.10.2015	Edmonton Green	Edmonton	74,127.39	52,962.39	Within 30 years of date of payment	Play equipment contribution towards the re-provision of play equipment in the retained publicly accessible open space	Lonetta Hoy	Pay equipment contribution towards the re-provision of play equipment in the instance publicly accessible open space	PARKS	CT0689	84309	- 53,044.47				164.40	- 53,208.87		
London Community Learning Trust	Ladysmith Road, Edmonton, Enfield London N18 2QR: 54/04205/RUL	Erection of a part single, part 3-storey 430 place primary school for pupils aged 4-11 years, provision of multi-use games area (MUGA), soft and hard surfaced play areas, associated landicaping, perimeter frecing and car and cycle parking accessed from Abany Road	t 19.10.2015	Edmonton Green	Edmonton	74,127.39	20,000.00	Within 50 years of date of payment	Highways Contribution	David Taylor	Highways Contribution	w	CTORIO	8133	- 15,822.51				6.2	- 15,871.59		
Malaelands Ltd and Arringford Ltd Conel Ltd, Sandcroft Properties and	Annalysis Find Industrial Fatata First Durch Lang Lang	Redevelopment of part of existing industrial estate involving demolition of existing units and exection of replacement industrial units totalline source. 21 552nom of floor space for 91, 62 and 68 uses	33.03.2016	Ponders End	Edmonton Southgete	166,840.00 214,968.00		Within 50 years of date of payment	Bridge Contribution	Mick Pond David Taylor		76.7 76.7			- 3(5111 - 3(35.25	_			225.80	- 76,286.91 - 20,178.49		
Galveston investments S.A. Conel Ltd, Sandcroft Properties and Galveston investments S.A.	Enterini (NJ 35: P14-02060P4 Tower Point, Sydney Raad, Enfield IN2 652 TP104/2540 Tower Point, Sydney Raad, Enfield IN2 652 TP/04/2540	Conversion of existing store to provide 1 x studio involving exection of single story mar extension with flexing amenity space at float. Conversion of existing store to provide 1 x studio involving exection of single story mar extension with flexing amenity space at float.	29.09.14		Southgate	254,968.00		Within 50 years of date of payment Within 50 years of date of payment	Traffic and Transportation Open Space Land Contribution	David Taylor Matt Watts	REE	TAT	CT0882 CT0883	8262 8262	- 20,985.25 - 90,942.12				- 91.24 - 155.40	- 20,378.40 - 50,297.52		
Royal Bank of Scotland PLc & Hassoo Constuction Limited	2 Stonard Road London N 13 4DP P13-01822PLA	Demolition of existing develop and outbuildings, exection of a part 2, part 3 storey building to provide 10 x thats comprising 1 x studied, 4 x 1- bad; 2 x 3-bad; 2 x 2-bad; with 5 x out lights, including construction of basement providing unit and parking typic in fulfiling, which are access , pedentrian access at side, erection of boundary wall, communal amenity, terrace and influe storage area at ground floor level.	s 8.10.13	Winchmare Hill	Southgate	87,680.00	25,281.00	NO DEADLINE	Education to provide additional educational facilities within the Borough	K. Rowley	\$25	650	CT0452	94728	- 1,26.09				51.12	- 16,557.81		
100 Investments Ltd 100 Investments Ltd	100 High Street N14 GBN 15/04472/FUL 100 High Street N14 GBN	Demolition of waiting decked car park & exection of 90 moon intent. Demolition of waiting decked car park & exection of 90 moon intent.	05.08.2016	Enfield Southgate	Southgete	45,515.00	10,000.00	NO DEADUNE	O'ZConsultation Contribution	David Taylor	REE	147	CT0694	8029	- 10,015.48				- 31.00	- 20,046.56		
HP Investments Ltd HP Investments Ltd HP Investments Ltd	15/04472/FU1 100 High Street N14 GBN 15/0472/FU1 100 High Street N14 GBN 15/04472/FU1	Demolition of existing decked car park & erection of 90 room Hotel.	05.08.2016 05.08.2016	Enfield Southgate	Southgete Southgete Southgete Southgete	46,615.00 46,615.00	2,500.00	NO DEADLINE NO DEADLINE	CPE implementation Contribution Parking Control Contribution	David Taylor David Taylor	REE		Croters	84309	- 15,023.28 - 2,523.90					- 15,069.84 - 2,511.70		
Vincenzo Antinoro and Emma Jane	15/0472/FUL 100 High Street N14 GBN 15/0472/FUL 20 Holly Road Erfield EN3 GQB	Demolition of existing decked car park & erection of 90 mom Hotel.	05.08.2016 31.20.14	Enfield Southgate Turkey Street		45,615.00	6,907.96	NO DEADLINE NO DEADLINE	Parking Surveys Contribution	David Taylor K. Rowley	REE		CT0895	94309	· 20,025.48	7.96		-	- 21.08	- 20,046.56 - 6,907.96	+	
Antinono Hieronalea	P14-00776PLA 106 Camlet Way EN4 OKK P14-10719LA	Antected on 2 attrive yind annoce Redevelopment of Life to provide a 2 storey block of 9 flats	28.08.2014			204,553.99	11,685.25	NO DEADLINE	Education to provide additional educational facilities within the Borough discussion to provide additional educations facilities within the Borough	K. Rowley	965 965				· · · · · · · · · · · · · · · · · · ·				21.36	- 11,706.61		
London and Quadrant Housing Trust	Former Cat HB Campus, Middlews University Hospital Size Barnet DM BHU P13 0226674	So that is a strain of the problem of the strain of the s						Within 30 years of the receipt of payment p	Education to provide additional velocition of the liberage recombined by the development			800	C78270	84209	- 308,708.05				996.38	- 200,682.24		
RPS CgMS	22 Lumina Way	Change of use from Use Classes B4, 82, B8 to Use Class 02 for use as a Transpoline Park with ancillary cafe, alterations to service yard and associated plant works.	1 1811.2016	Jublee	Edmonton	25,000.00	25,000.00	NO DEADUNE	Cycle contribution	Dominic Millen	ENV	161	CT0657	94309	· 25,032.30			-	77.64	- 25,109.94	+	
Long Acre Securities Ltd, Caude Lane Securities Ltd, Birlish Telecommunications PLC and Telereal Securitised Property Truttee 1 Ltd	Garages at Haslam Court Waterfall Rd N11 1NJ	Redevelopment of site to provide a part 2, part 3-storey block of 6 terraced houses comprising 3 + 2-bed and 3+3 bed units with roof terrace involving demolition of existing garage block	27.11.2015	Southgate	Southgate	11,136.00	59,145.00	NO DEADLINE	Affordable Housing	Report Brandon	HHASE	Development and Estate Renewal	CT0696	84329	- 58,175.56				10.40	- 58,358.04		
	Garages at Haslam Court Waterfall Rd N11 1NJ	Redevelopment of site to provide a part 2, part 3-storey block of 6 terraced houses comprising 3 x 3-bed and 3x3 bed units with roof	27.11.2015	Southgate	Southgate	11,136.00	11,136.00	NO DEADLINE	Education contribution	Keith Rowley	505		CT0699	84309	- цягж				34.66	- 11,176.32		
Long Acre Securities Ltd, Castle Lane Securities Ltd, British Telecommunications PLC and Telereal Securities Property Trustee 1 Ltd		tenzes incluing demolition of existing gauge block	09.12.08				11,136.00		Works at Meridian Business Park: contribution for regeneration works originally				C1069			_		<u> </u>				
Meridian Business Association SEGRO Pic wharf contribution	Meridian Business Park Phase 1 Navigation Park, Morson Road, Ponders En Dist Jaco Tor/10/1215	Erection of 3,511 sign warehouse/distribution building (Class BB) with ancillary office space, car/san/HGV parking, new access and associated landscoping.	10.05.11	Ponden End	Edmonton	100,000.00 30,000.00	30,000.00	NO DEADLINE 07.02.15	Works at Nertiana aureurs vaix. Controlazion for regeneration works organisy from WK Works Deson Road S206 American Columbia Wharf Controlution towards the enhancement of squartic and bank habitats at Columbia Wharf	Anna Loughlin Head of Service	REC	BED REGEN	CT1254	84309	- 87,079.98 - 20,759.28			-	270.00	- 87,348.98 - 30,834.56		
Rodeer Ian Dudding Martin Gaine	EN2 4NQ T9/10/1215 Dudrich Mews: Drapers Road S88 Green Lanes	Conversion of roof space into 1 x 2 bed well contained flat. Conversion of building to 2 x well contained flats		Paimers Green Paimers Green	Enfield North Southgate		1,855.98 1,207.98	No deadine No deadine	Education contribution Education contribution	Keith Rowley Keith Rowley	905 925	600 600	CT062 CT0674	14329 14329	- 1,81.74 - 1,211.70				5.% 3.72	- 1,867.50 - 1,215.42		
		GINERAL CONTINGENCY EDUCATION CONTINGENCY													- 46,425.28 - 9,832.00				- 543.88 - 20.48	- 46,570.16 - 9,862.48		
		TAT CONTINGENCY SSOG MANAGEMENT RES							T&T CONTINGENCY SIDE MANAGEMENT FEES	David Taylor Head of Service -	REE REE	TET STRATEGIC RUANNING AND	стана	94918	- 9,822.00 - 19,138.02 - 493,285.85 - 25,527	5.37 152,407.35			- 30.45 - 54.25 - 54.25 - 54.25 - 54.25 - 44.25.25 - 44.25.25 - 44.25.25 - 44.25.25	- 26,268.40 - 277,923.03		
		AFFORDALLE HOUSING							APHOREARES HOUSING	Rugert arongon	HOURSE.	Renewal - Council Montes	CIDIDE	36259	- 1,090,27114 - 218,091	4.72			- 4,222.26	- 1,717,687.12		
		CARGON RUND REGENERATION CONTROL CON REGENERATION CONTROL CON TRAVEL RAN MONITORING RES							CARBON RUND RECONSIANTION CONTINGENCY TRAVEL PLAN MONITORING FEES	Tac .	REE	REGEN	Стана	94918	- 1559.11					- 122,85.31 - 15,627.35 - 56,669,352.65 - 6,669,352.66	A20060	
										Arra Islakca	REC	16.1	CT0207	84209	- <u>54,185,29</u> - <u>6,425,015,15</u> - 277,012	194 195 277 25	01016		- 180.36 62.132.16 - 15.834.16	- 58,365.75		

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ANNEX 2		S106 AGREEMENTS WHERE PAYMENTS ARE STILL AWAITED											
Developer	Site address and Planning Reference	Development Description	Date Agreement Signed	Ward	Constituency	Total financial obligation	Obligation Split	SPEND DEADLINE - BLUE = Project Complete RED = DEADLINE PASSED, OR APPROACHING WITHIN 12 MONTHS	Details of Obligations	LEAD OFFICER	Dept	Team	Trigger point for payment/ Comments
LBE & Hillview Industrial Developments Limited	Unit 6 Riverside Industrial Estate, Morson Road, d Enfield EN3 4NQ PONDERS END TP/08/0293	Construction of estate road and erection of 3 v 2-storey blocks comprising 27 business units for use within classes B1(c), B2 and B8 (light industrial, general industrial and storage / distribution used) with associated landscaping, car parking, and access.	27.04.09	Ponders End	Edmonton	40,000.00	40,000.00	20.01.2016	Highway Improvement Works Works to Morson Road to include (but not limited to) the; Implementation of revised loading/unloading and parking restrictions * Provision of new signage * The installation of measures to assist cyclists and pedestrians	David Taylor	R&E	T&T	Building control database has been checked. No sign of development commencing. Developer has confirmed that works have not started on the site.
London Industrial Partnerships Limited	44-47 East Duck Lees Lane & 3-4 Ponders End Industrial Estate PONDERS END 06/1264	Part redevelopment and part refurbishment of site to provide 35 units for B1 (Business), B2 (General Industry) and B8 (Storage / Distribution) uses incorporating mezzanine floors, associated car parking, access and landscaping.	13.06.07	Ponders End	Edmonton	15,000.00	15,000.00	5th anniversary of payment	Installation of Woodscape Furniture in area edge red on Plan No. 2 or such other location in the Brimsdown Business Area	твс	R&E	T&T	Kier Properties confirmed works have not commenced on site. No further planning details have been submitted to development management since Nov 2007.
Kuan Leng, Parritt Leng	TP/07/0631 57 Fore Street Edmonton LOWER EDMONTON	Demolition of existing buildings and erection of a part 3-storey, bart 3-storey, bart 3-storey bart	12.12.07	Upper Edmonton	Edmonton	66,000.00	30,000.00	NO DEADLINE	Education £20,744 primary education and £15,848 secondary education	Keith Rowley	S&CS	EDU	No planning details have been submitted to development management. Building control database checked. No sign of development commencing.
Kuan Leng, Parritt Leng	TP/07/0631 57 Fore Street Edmonton LOWER EDMONTON	Demolition of existing buildings and erection of a part 3-dorey, part 9-dorey, box 4 storey block (total height 28.5m) comprising two retail units on ground floor (520 spn. Class AI use) and 24 residential unit above (22 A 2-bed, 2: A 3-bed) with associated basement cycle and car parking accessed via Grove Street.	12.12.07	Upper Edmonton	Edmonton	66,000.00	36,000.00	NO DEADLINE	Highway Works All works necessary to form pedestrian and safety improvements in the vicinity of the site to be carried out by the Council at or in the vicinity of the junction of Fore Street and Grove Street as described in the Fourth Schedule of the Agreement	David Taylor	R&E	T&T	
Country Side Properties UIK & LBE	Highmead Estate at Fore St. N18 25L LBE/10/0037	Redevelopment of acts to provide 4 commercial and 120 redevelopment (comparings part 6 clarvy, part 6 activny lack of 1002 gain of commercial floorages (A) (Resit), 24 clares, Researciant and A difficulty establishment) grant and the state of the state	30.03.12	Upper Edmonton	Edmonton	267,214.00	50,000.00	Within 10 years of the receipt of payment	Community Facilities Contribution for the provision of a community space to shell and core	твс	TBC	TBC	All payments are due on commencement of development. This permission is not going to be implemented as a more recent application has been submitted, approved under which works are about to start on site.
Country Side Properties UIK & LBE	Highmead Estate at Fore SL N18 2SL LBE/10/b037	Redevelopment of the top provide 4 commercial and 120 redevelopment (a provide part 6 clorety, part 6 clorety, part 6 clorety, block of 1002 open cloreterer (a block part 6) (cloret, a part 6 clorety, block of 1002 open cloreters, block and block of 124 cloreters, block of 124 cl	30.03.12	Upper Edmonton	Edmonton	267,214.00	118,214.00	Within 10 years of the receipt of payment	Education Contribution towards educational facilities required as a consequence	Keith Rowley	58/C5	EDU	All payments are due on commencement of development. This permission is not going to be implemented as a more recent application has been submitted, approved under which works are about to start on site.
Country Side Properties UIK & LBE	Highmead Estate at Fore SL N18 2SL LBE/10/b037	Redevelopment of data to provide 4 commercial and 12 microadestal units (comprising a part 6 daves, part 8 daves) lack at 1022 ayout commercial foronges (A listed), A 2016; c. A. Beccursari and A diffunction gestabilitients) and provide the strategistical strategistical and the strategistical strategistic	30.03.12	Upper Edmonton	Edmonton	267,214.00	10,000.00	Within 10 years of the receipt of payment	Employment and Training Strategy and Fee towards monitoring the Employment Training Strategy by the Council	Anna Laughlin	R&E	BED	All payments are due on commencement of development. This permission is not going to be implemented as a more recent application has been submitted, approved under which works are about to start on site.
Country Side Properties UK & LBE	Highmead Estate at Fore SL N18 25L LBE/10/b037	Redevolpement of late to provide 4 commercial and 120 modential units (comprising a part 6 darry, part 6 darry block of 1002 gang of commercial floorages (A Real), A dolfers, A Restruant and A M changing estabilisment) and part of the start of the sta	30.03.12	Upper Edmonton	Edmonton	267,214.00	9,000.00	Within 10 years of the receipt of payment	Jobsnet contribution towards Jobsnet Team to provide Job brokering service to tenants of commercial units for 3 years	Anna Laughlin	R&E	BED	All payments are due on commencement of development. This permission is not going to be implemented as a more recent application has been submitted, approved under which works are about to start on site.
Country Side Properties UK & LBE	Highmead Estate at Fore St. N18 25L LBE/10/0037	Redevelopment of site to provide 4 commercial and 25 or index parking. Redevelopment of site to provide 4 commercial and 25 or indexisting in the index (commissing a part 6 storey, part 8 storey block of 1052 upm of commercial and theorypace (A1 Restal, A1 defines, A1 Restaurant and A4 Dinking establishments) at ground floor, 1 a 3 bed maincortes, 4 5 at the site of a site of the site	30.03.12	Upper Edmonton	Edmonton	267,214.00	50,000.00	Within 10 years of the receipt of payment	Open Space towards improvements and maintenance of St Johns Open Space	Matt Watts	R&E	PARKS	All payments are due on commencement of development. This permission is not going to be implemented as a more recent application has been submitted, approved under which works are about to start on site.
Country Side Properties UK & LBE	Highmead Estate at Fore St. N18 2SL LBE/10/b037	Redensingenet of late (a provide particul) and 12 provide particip. Redensingenet of late (a provide particul) and 12 provide particip. Redensingenet of late (a provide particul) and 12 provide participation (a participation) and a participation (a participa	30.03.12	Upper Edmonton	Edmonton	267,214.00	30,000.00	Within 10 years of the receipt of payment	Public Art Contribution towards the provision of public art within 200m of the boundaries of the Upper Edmonton District Centre Travel Plan & Car Club Affordable Housing (24 units) Community Heating System	Lorraine Cox	R&E	CULTURAL SERVICES	All payments are due on commencement of development. This permission is not going to be implemented as a more recent application has been submitted, approved under which works are about to start on site.
Country Side Properties UIK & LBE	Highmead Estate at Fore St. N18 25L LBE/10/0037	Relevance of the tap provide 4 commercial and 12 microalisatius and to compare a part 6 dance, part 8 dance y lack of 1002 ang of commercial homographic (A Hank), A 2016ers, A Berstaunst and A Microaling establishmeth) generation (Bon 3 a 34 de microaliste, 54 1- bes, 13 - 24 de and 17 - 36 eff tas with haloconsts to frant are rar and 2 lacks of 51 s Johney. A 4de terrande houses with halooy and named to nor rar; 100 de 16 - 34 bed part 2 dances, part 36 shows (Moha and Microaliste). A 4de de terrande houses with halooy and 1 a 2 lacks of 1 a 34 bed and 12 a 2 and participations (B and B an	30.03.12	Upper Edmonton	Edmonton	267,214.00	14,161.00	Within 10 years of the receipt of payment	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Due on commencement
Kedco Harward Ltd	Yard Gibbs Rd . Montagu Ind. Est. TP/09/1862		19.04.12	Edmonton Green	Edmonton	70,000.00	5,000.00	Within 10 years of the receipt of payment	Travel Bond In the event that the Travel Plan does not meet set targets to use for traffic and parking surveys etc	David Taylor	R&E	тат	Prior to commencement of development. No planning details have been submitted to development management. Building control database checked. No sign of development commencing.
Kedco Harward Ltd	Yard Gibbs Rd . Montagu Ind. Est. TP/09/1862	Use of site as an industrial facility for the production of renewable energy from watte timber involving extension to existing building, new pump house, substation and condensers with associated works and formation of a new exit to Gibbs Road.	19.04.12	Edmonton Green	Edmonton	70,000.00	30,000.00	Within 10 years of the receipt of payment	Air Quality Contribution for monitoring air quality in the local area Infrastructure Delivery Fund	Sue McDaid	R&E	REGULATORY SERVICES	Prior to commencement of development. No planning details have been submitted to development management. Building control database checked. No sign of development commencing.
Kedco Harward Ltd	Yard Gibbs Rd . Montagu Ind. Est. TP/09/1862	Use of site as an industrial facility for the production of renewable energy from waste timber involving extension to existing building, new pump house, substation and condensers with associated works and formation of a new exit to Gibbs Road.	19.04.12	Edmonton Green	Edmonton	70,000.00	35,000.00	Within 10 years of the receipt of payment	to assist small companies with costs of infrastructure to enable them to connect to a supply of heat energy Energy	TBC	R&E	TBC	Prior to commencement of development. No planning details have been submitted to development management. Building control database checked. No sign of development commencing.
Currie Motors Limited and Gursal Aksu	293-303 Fore Street, London N9 OPD TP/11/0627	Change of use from car tales and service workshops to a banqueting suite with a single storey rear extension, first floor extension to provide anciliary offices and enclosure to existing first floor car park and access rame with new pedestrian access and external starkcare at fionst, 2 restail units and card with community hall at real attentions to rear freestations and reaning suitors of car park support (PART	01.06.12	Edmonton Green	Edmonton	3,700.00	Non monetary	NO DEADLINE	Travel Plan Lease for Parking Area	TBC	R&E	тат	Prior to signing the S106
Currie Motors Limited and Gursal Aksu	293-303 Fore Street, London N9 OPD TP/11/0627	RETROSPECTVD. Change of use from car sales and service workshops to a bancering park with a sign storey rear extension, first floor extension to provide a nacitary offices and enclosure to existing find floor car park and access range with new podestrain access and external attactase at fitned. retail units and cale with community buil at rear, attensions to rear foreastration and reconfiguration of car park based VPAT	01.06.12	Edmonton Green	Edmonton	3,700.00	Non monetary	NO DEADLINE	Details for lighting, parking, surfacing and access		R&E	787	
Currie Motors Limited and Gursal Aksu	293-303 Fore Street, London N9 OPD TP/11/0627	Change of use from car sales and service workshops to a banequesting usite with a usingle storey rear extension, first floor extension to provide anchary offices and enclosure to existing this floor car park and access range with new pedestrian access and external starcase at front, 2 retail units and cafe with community hall at rear, Heratoins to rear freezation and reconfiguration of car park layout (PART RETROS/CVTVF).	01.06.12	Edmonton Green	Edmonton	3,700.00	3,000.00	NO DEADLINE	Travel Plan + fee	David Taylor	R&E	78.7	
Currie Motors Limited and Gursal Aksu	293-303 Fore Street, London N9 OPD TP/11/0627	IN INDEX.11/15. Change of use from car takes and service workshops to barrowine tog state with a single storey rear extension, first floor extension to provide and lary offices and enclosure to exoting first floor car park and access any with new pedestrian access and external startcare at first, 2 restal units and calk with community ball at reas, affect BETMERTTR's into and recomplications of a park tayout PART start and the start and take the community ball at reas, affect BETMERTTR's into and recomplications of a park tayout PART start and the start and take the community ball at reas, affect BETMERTTR's into and recomplications of a park tayout PART start and the start and take the community ball at reas, affect BETMERTTR's into and recomplications of a park tayout PART start and the start and thes	01.06.12	Edmonton Green	Edmonton	3,700.00	700.00	NO DEADLINE	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	PAID
St Modwens Properties Pic	Edmonton Green Shopping Centre The Broadway N9 0TZ TP/10/0859	es INDSPECTIVE). Erection of a 4-storey building comprising a 73 bed hotel (Class C1).	14.12.10	Edmonton Green	Edmonton	Non monetary	Non monetary	NO DEADLINE	Construction Employment Strategy to submit a draft strategy to the Council and implement as approved by the Council	Mary O'Sullivan	R&E	BED	Non financial planning obligations are being pursued.
St Modwens Properties Pic	Edmonton Green Shopping Centre The Broadway N9 0TZ TP/10/0859	Erection of a 4-storey building comprising a 73 ked hotel (Class C1).	14.12.10	Edmonton Green	Edmonton	Non monetary	Non monetary	NO DEADLINE	Hotel Employment Strategy to submit a draft strategy to the Council and implement as approved by the Council and work with Enfield Jobsnet to promote recruitment of residents within a reasonable travelling distance to the Hotel faccounting for at least 90%)	Mary O'Sullivan	R&E	BED	Non financial planning obligations are being pursued.
St Modwens Properties Plc	Edmonton Green Shopping Centre The Broadway N9 0TZ TP/10/0859	Erection of a 4-storey building comprising a 73 bed hotel (Class C1).	14.12.10	Edmonton Green	Edmonton	Non monetary	Non monetary	NO DEADLINE	(accounting for at least 90%) Recrutiment Report to submit to Enfield Jobsnet prior to occupation	Mary O'Sullivan	R&E	BED	Non financial planning obligations are being pursued.
London Academies Enterprise Trust	The Nightingale Academy Turin Road, Edmonton, London N9 8DQ P12-01255PLA	Single story extension to sports hall to crute a cell and regularement door to north acid elvadors, contraction of new student entrances to subth cast elvadors and new vision entrances in onch well elvadors. The transmission of the student entrances of subdimentation of the student entrances of the student entrances of the student entrance of tables of the student entrance entrances of the student entrances of the student entrance entrances of tables of the student entrance entrances of the student entrances	12.02.13	Jubilee		Not exceeding £15,000	non monetary	NO DEADLINE	Exchange of Land	твс	PROPERTY	TBC	Not to occupy development until the transfer of the Blue Land in consideration of the Council transferring the Green Land to the Academy at nil costs.

London Academies Enterprise Trust	The Nightingale Academy Turin Road, Edmonton, London N9 EDQ P12-01255PLA	Sight storp extension to sports table to create 2 calls and splacement door to north acid evolution, comprustion of native valuated restoras to another set elevition in a new valuated restoration of the set elevitical calls and splace and splace and caldudin, meansion (End or Calls and	12.02.13	Jubilee	Not exceeding £15,000	non monetary	NO DEADLINE	Provision of a Foolgath	TBC	R&E	T&T	The Academy to construct a footpath on the Back Hatched Land in strict acordinate with the Council specification relating to despin a accordinate with the construction programmic (sones)
London Academies Enterprisa Trust	The Nightingale Academy Turin Road, Edmonton, London N9 80Q PI2-01255PLA	Sight story of excitutions of a collicities and an effective control down more than a control of the collicities of the of the collicit	12.02.13	Jubilee	Not exceeding £15,000	Not exceeding £15,000	NO DEADLINE	Lighting for the provision of sufficient lighting the footpathon include 4,4400 for the long term maintenance of the installed lighting referred to in para 5.2.1 int he agreement	TBC	R&E	T&T i	Provided that and, highing and the completed in a sconducer with the conduction programmin defend to an a size 3.2.1 along. To be requested within 20 days of completion of the lighting provision
Turkish Bank UK Limited & Hamdullah Erpolat	Land at 2, 3 & 4 Princes Road N18 3PR	Variation of condition 12 of TP(07/1029 to increase capacity from 250 to 500 people.	05.08.13	Edmonton Green	350.00	Non monetary	NO DEADLINE	To keep site available for use of parking in connection with the use of the function hall at 4 Princes Road for events with an attendance of more than 250 people unless and until planning permission expires		R&E	T&T	
Turkish Bank UK Limited & Hamdullah Erpolat	Land at 2, 3 & 4 Princes Road N18 3PR	Variation of condition 12 of TPJ07/1029 to increase capacity from 250 to 500 people.	05.08.13	Edmonton Green	350.00	350.00	N/A	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Upon Completion. Received.
Barclays Bank Pic & Sarah & David Studman	26 Woodstock Crescent, London N9 7LY	olition of No 26 Woodstock Crescent and rear outbuildings to allow redevelopment comprising 1 x 3- bed detached single family dwelling with rear dormer and a row of 4x 3- bed town houses with associated parking and landscaping.	21.08.13	Jubilee	80,041.40	45,629.40		Affordable Housing Contribution towards the off site provision of affordable housing in the borough	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	On occupation of the first housing unit
Barclays Bank Pic & Sarah & David Studman	26 Woodstock Crescent, London N9 7LY	olition of No 26 Woodstock Crescent and rear outbuildings to allow redevelopment comprising 1 x 3- bed detached single family dwelling with rear dormer and a row of 4x 3- bed town houses with associated parking and landscaping.	21.08.13	Jubilee	80,041.40	34,412.00		Education Contribution towards the provision of educational facilities within the Borough required as a consequence of the scheme	K.Rowley	S&CS	EDU	On occupation of the first housing unit
Barclays Bank Pic & Sarah & David Studman	26 Woodstock Crescent, London N9 7LY	olition of No 26 Woodstock Crescent and rear outbuildings to allow redevelopment comprising 1 x 3- bed detached single family dwelling with rear dormer and a row of 4x 3- bed town houses with associated parking and landscaping.	21.08.13	Jubilee	80,041.40	4,002.07		S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	On commencement of development
Sirocco Investments Ltd	159 & 159a Silver Street London N18 1PY	Conversion existing house in multiple occupation (HMO) into 6 flats comprising 4 x studio and 2 x 1-bed self contained flats (RETROSEPCTIVE).	2.9.13	Haselbury	37,247.05	34,265.40	Within 5 years from the date of receipt of payment	Affordable Housing Contribution towards the off site provision of affordable housing in the borough	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	Prior to commencement of development
Sirocco Investments Ltd	159 & 159a Silver Street London N18 1PY	Conversion existing house in multiple occupation (HMO) into 6 flats comprising 4 x studio and 2 x 1-bed self contained flats (RETROSEPCTIVE).	2.9.13	Haselbury	37,247.05		Within 5 years from the date of receipt of	Education Contribution towards the provision of educational facilities within the Borough	K.Rowley	S&CS	EDU	Prior to commencement of development
Sirocco Investments Ltd	159 & 159a Silver Street London N18 1PY	Conversion existing house in multiple occupation (HMO) into 6 flats comprising 4 x studio and 2 x 1-bed self contained flats (EFTROFERTURE)	2.9.13	Haselbury	37,247.05	1,773.67	payment Within 5 years from the date of receipt of	required as a consequence of the scheme \$106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING	On completion of the agreeement
Segro Propeorties Limited (Owner)	Phase 2 Navigation Park, Morson Road EN3 4NQ, P12-02641PLA	remouse energy Redevelopment of size by the erection of 15,003 s,m of buildings within use classes BL(J23 and B8, together with car parting, service areas, landscaping, access roads, plant and ancillary officer. (Justice - all notter reserved)	30.09.13	Ponders End	3,925.00	V TBC	payment lithin 10 years from the date of receipt of payment	Employment and Skills Strategy Local Labour Return Business and Employment Initiative Contribution in Ilew of the provision of Local training or employment placements as set out in the Employment and Skills Strategy to bre used towards lobest	Anna Loughlin	R&E	BED	E&S5 to be submitted prior to commencement. LLB to be submitted prior to occupation. If LLB fails to demonstrate owner has provided a min, of one local employment or training placement per training week -
Segro Propeorties Limited (Owner)	Phase 2 Navigation Park, Morson Road EN3 4NQ P12-02641PLA	Redevelopment of site by the erection of 19,000 sq.m. of buildings within use classes B1c/B2 and B8, together with car parking, service areas, landscaping, access roads, plant and ancillary offices. (Dutline - all matters reserved)	30.09.13	Ponders End	3,925.00	V 3,225.00	ithin 10 years from the date of receipt of	Jobsnet Travel Plan Travel Plan Monitoring Fee	Anna Jakacka	R&E	тат	Payment due prior to commencement of development, submission plan is due prior to occupation
Segro Propeorties Limited (Owner)	Phase 2 Navigation Park, Morson Road EN3 4NQ. P12-02643PLA	Redevelopment of site by the erection of 19,000 sq. m of buildings within use classes B1c/B2 and B8, together with car parking, service areas, landscaping, access roads, plant and ancillary offices. (Outline - all matters reserved)	30.09.13	Ponders End	3,925.00	V 700.00	payment Ithin 10 years from the date of receipt of	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING	On completion of agreement
National Grid Twenty Seven Limited & National	Relating to the development at Former Gas Works, National Grid Site, Willoughby Lane N17		28.11.13	Upper Edmonton	700.00	Non Monetary	payment No Deadline	West Development To submit for approval baseline levbels survey of site & to dismantle	Head of Service	R&E	STRATEGIC PLANNING	Prior to commencement of the West Development
Grid Gas pls National Grid Twenty Seven Limited & National	ORY Relating to the development at Former Gas Works, National Grid Site, Willoughby Lane N17	Temporary stockpiling of London Clay for a period of 24 months on eastern side of the site.	28.11.13	Upper Edmonton	700.00	Non Monetary	No Deadline	gas holders by no later than 15 May 2015 East Development To submit for approval baseline levelets survey of site & to dismantle	Head of Service	R&E	STRATEGIC PLANNING	Prior to commencement of the East Development
Grid Gas pls National Grid Twenty Seven Limited & National	ORY Relating to the development at Former Gas		28.11.13	Upper Edmonton	700.00	700.00	No Deadline	gas holders by no later than 15 May 2015	Head of Service	R&E	AND DESIGN	TBC I foaid
Grid Gas pls IKEA Properties Ltd	Works, National Grid Site, Willoughby Lane N17 ORY Land at Glover Drive London N18 3HF; P12-	Development of textension to the west of the building to provide 3,929 sq m of floorspace with udnercroft car parking, together with	17.07.2015	Edmonton	3,431.40	3,431.40	No Deadline	Travel Plan Monitoring Fee	Anna Jakakca	R&E	AND DESIGN	PAID 17.07.15
IKEA Properties Ltd	01399PLA Land at Glover Drive London N18 3HF; P12-	extension to existing mezzanine to provide additional 1,183 sq m of additional floorspace. Development of textension to the west of the building to provide 3,929 sq m of floorspace with udnercroft car parking, together with	17.07.2015	Edmonton	3,431.40	3,431.40	No Deadline	Travel Plan	Anna Jakakca	R&E		Due prior to commencement. Development should not commence until Travel
Mong Ngar Liu and Albert Liu	01399PLA Spencer House, Brettenham Road Edmonton	extension to existing mezzanine to provide additional 1,883 up m of additional floorspace. Conversion of existing building and addition of Joh floor extension with terrace area to provide 7 kflats (comprising 1 x 1-bed, 3 x 2-bed, and 3 x 3-bed), including under crott parking, cycles spaces, new entrace gates to exit, construction of extension task first	15.01.15	Edmonton Green	41.774.20	26,984.95	No Deadline	Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield	Sarah Carter	ннаасс	Development & Estates Renewal - Council	Plan has been approved by the Council (in consultation with TfL). Payable on or prior to first occupation
	N18 2EU P13-00876PLA Spencer House, Brettenham Road Edmonton	2.2.5 - Detail, including during the one participate of the entropy global to all controls to the team and and an all controls to the team and and all controls to the entropy and the team and all controls to the entropy and the entropy	15.01.15					required as a consequence of development Education Contribution		S&CS	Homes	
Mong Ngar Liu and Albert Liu	N18 2EU P13-00876PLA Spencer House, Brettenham Road Edmonton	s x s dea), including under corb paiving, cyce spaces, new entrace gates to arts, construction or external staticas, une extensions at trast foor to ast elevation and 3 kalcionations to watel elevation. Conversion of existing building and addition of 2nd floor extension with terrace area to provide 7 x flast (comprising 1 x 1-bed, 3 x 2-bed), a x 3-bed), including under corb paiving, cycle spaces, new entrace gate to a construction of external staticase, side extensions at flast		Edmonton Green	41,774.20	12,800.00	No Deadline	as a contribution to the provision of affordable housing in Enfield required as a consequence of development	K.Rowley	58(5	EDU STRATEGIC PLANNING	Payable on or prior to first occupation
Mong Ngar Liu and Albert Liu	N18 2EU P13-00876PLA	3 x 3-bed), including under croft parking, cycle spaces, new entrace gates to site, construction of external staircase, side extensions at first floor to east elevation and 3 x balconies to west elevation.	15.01.15	Edmonton Green	41,774.20	1,989.25	No Deadline	Monitoring Fee Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield	Head of Service	R&E	AND DESIGN	Payable on or before commencement date
Stephen Potter and Debra Karen Potter	78 Picketts Lock Lane, P14-0333PLA	Subdivision of site and erection of 1 x 2 storey house	11.09.14	Lower Edmonton	19,256.00	11,451.09	Vithin 10 years of date of receipt	required as a consequence of development	Sarah Carter	HHAASC	Renewal - Council Homes	Due prior to commencement
Stephen Potter and Debra Karen Potter	78 Picketts Lock Lane, P14-0333PLA	Subdivision of site and erection of 1 x 2 storey house	11.09.14	Lower Edmonton	19,256.00	6,907.96	Vithin 10 years of date of receipt	Education Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development	K.Rowley	S&CS	EDU	Due prior to commencement
Stephen Potter and Debra Karen Potter	78 Picketts Lock Lane, P14-0333PLA	Subdivision of site and erection of 1 x 2 storey house	11.09.14	Lower Edmonton	19,256.00	916.95	Vithin 10 years of date of receipt	Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Due prior to commencement
Capan Er	136 Chichester Road N9 9DG P13-02146PLA	Demolition of garages and erection of 2 No. 3-bed terraced single family dwellings with front dormers at first floor.	24.02.14	TBC	68,907.00	51,810.00	No Deadline	Education Contribution towards the provision of educational facilities within the Borough required as a consequence of the scheme	Keith Rowley	S&CS	100	To pay 50% within 3 months of the commencement date. To pay remaining 50% within 5 months of the commencement date
Capan Er	136 Chichester Road N9 9DG P13-02146PLA	Demolition of garages and erection of 2 No. 3-bed terraced single family dwellings with front dormers at first floor.	24.02.14	TBC	68,907.00	13,816.00	No Deadline	Affordable Housing	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	To pay 50% within 3 months of the commencement date. To pay remaining 50% within 5 months of the commencement date
Capan Er	136 Chichester Road N9 9DG P13-02146PLA	Demolition of garages and erection of 2 No. 3-bed terraced single family dwellings with front dormers at first floor.	24.02.14	TBC	68,907.00	3,281.00	No Deadline	Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	On commencement of development
Real Securities Limited	40 Beech Hill, Barnet, Enfield EN4 OLP P13- 02648PLA	Development of 1 x 5 bedroom house	04.03.14	Cockfosters	196,485.43	175,720.00		Affordable Housing	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	Due on or prior to commencement date. CIL commencement notice is dated 1.10.14
Real Securities Limited	40 Beech Hill, Barnet, Enfield EN4 OLP P13- 02648PLA	Development of 1 x 5 bedroom house	04.03.14	Cockfosters	196,485.43	11,408.98		Education Contribution	TBC	твс	Tomes	Due on or prior to commencement date - see above. Payment to be pursued (8.4.15)
Real Securities Limited	40 Beech Hill, Barnet, Enfield EN4 OLP P13- 02648PLA	Development of 1 x 5 bedroom house	04.03.14	Cockfosters	196,485.43	9,356.45		S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Due on or prior to commencement date - see above. Payment to be pursued (8.4.15)
Wayne Selt and Lauren Selt	35 Camlet Way, Hadley Wood, EN4 OLI 14/02622/FUL	Redevelopment of the site to provide 8 residential apartments	09.04.15; DOV 16.05.2017	Hadley Wood	301,099.49	286,761.42	No Deadline	Affordable Housing	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	Due prior to commencement date.
Wayne Selt and Lauren Selt	35 Camlet Way, Hadley Wood, EN4 OLI 14/02622/FUL	Redevelopment of the site to provide 8 residential apartments	09.04.15; DOV 16.05.2017	Hadley Wood	301,099.49	14,338.07	No Deadline	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Due upon completion of the deed (09.04.15). Invoice sent same day.
Everlast Ltd and Bank of Cyprus UK Ltd	Everlast House 1 Cranbrook Lane London N11 1PF; P13-03229PLA	Conversion of 2 storey office building, and erection of 3rd storey to provide 11 self contained flats (3x1 bed, 6x2 bed and 2x3 bed)	02.04.15	TBC	105,974.22	5,379.72	No Deadline	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Prior to commencement of development
Everlast Ltd and Bank of Cyprus UK Ltd	Everlast House 1 Cranbrook Lane London N11 1PF; P13-03229PLA	Conversion of 2 storey office building, and erection of 3rd storey to provide 11 self contained flats (3x1 bed, 6x2 bed and 2x3 bed)	02.04.15	TBC	105,974.22	26,763.77	No Deadline	Education Contribution	K. Rowley	S&CS	EDU	Due on completion of sale - or letting - of the 3rd dwelling
Everlast Ltd and Bank of Cyprus UK Ltd	Everlast House 1 Cranbrook Lane London N11 1PF; P13-03229PLA	Conversion of 2 storey office building, and erection of 3rd storey to provide 11 self contained flats (3x1 bed, 6x2 bed and 2x3 bed)	02.04.15	TBC	105,974.22	73,830.73	No Deadline	Affordable Housing Contribution towards the off site provision of affordable housing in the borough	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	Due on completion of sale - or letting - of the fourth dwelling
S2 Estates (Holloway) Ltd & Commercial Acceptances Ltd	land at 190-192 Hertford Road Enfield N9 7HH: 14/04167/FUL	Conversion of existing public house into retail (A1) on ground floor, construction of advicate to basement storage, 1 x 1 bed and 6 x 2 bed fasts at 1 xt, 2nd floors with balconies to south and east elevations, including part indep, part 2 storay rear and side extensions together with associated parking and landscaping	23.04.15	Edmonton	63,000.00	60,000.00	No Deadline	Affordable Housing	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	Prior to accupation of first dwelling

52 Estates (Holloway) Ltd & Commercial Acceptances Ltd	land at 190-192 Hertford Road Enfield N9 7HH: 14/04167/FUL	Conversion of existing public house into retail (A1) on ground floor, construction of staircase to basement storage, 1 x 1-bed and 6 x 2-bed flats at 1st, 2nd floors with balconies to south and east elevations, including part single, part 2 storey rear and side extensions together with associated parties and indexcaping	23.04.15	Edmonton		63,000.00	3,000.00	No Deadline	S106 Management Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	
Samantha Walsh, Ozcan Hassan and Index Capital Ltd	68 Westmoor Road Enfield EN3 7LF. P14- 01201PLA	Exection of detached 1-bed bungalow with off street parking at front	30.07.2015	твс		11,273.49	10,669.50		Affordable Housing	Sarah Carter	HHAASC	Development & Estates Renewal - Council	
Samantha Walsh, Ozcan Hassan and Index Capital Ltd	68 Westmoor Road Enfield EN3 7LF. P14- 01201PLA	Erection of detached 1-bed bungalow with off street parking at front	30.07.2015	TBC		11,273.49	603.99		Education Contribution	Keith Rowley	S&CS	EDU	
A.C. Nicholas Ltd	10 Ridgemount Gardens, EN2 8QL; P13- 01833PLA	Redevelopment of site to provide 7 residential units comprising a part 3-storey, part 2-storey block of 5 self contained flats	31.07.2015	TBC		224,636.60	188,198.76	No Deadline	Affordable Housing Contribution towards the off site provision of affordable housing in the borough	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	50% due on or prior to commencement; 50% due on completion of the 4th residential unit
A.C. Nicholas Ltd	10 Ridgemount Gardens, EN2 8QL; P13- 01833PLA	Redevelopment of site to provide 7 residential units comprising a part 3-storey, part 2-storey block of 5 self contained flats	31.07.2015	TBC		224,636.60	25,740.86	No Deadline	Education Contribution towards the provision of educational facilities within the Borough required as a consequence of the scheme	Keith Rowley	S&CS	EDU	Due in full on or prior to commencement
A.C. Nicholas Ltd	10 Ridgemount Gardens, EN2 8QL; P13- 01833PLA	Redevelopment of site to provide 7 residential units comprising a part 3-storey, part 2-storey block of 5 self contained flats	31.07.2015	TBC		224,636.60	10,696.98	No Deadline	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Due in full on or prior to commencement
G.A Shepherd Investments	81 St Marks Road, Bush Hill Park Enfield EN1 1BJ	Conversion of ground floor retail to a 1-bed self contained flat involving new windows to front and entrance door to the side elevation.	16.04.14	Bush Hill Park		11,000.00	10,475.00	No Deadline	Affordable Housing Contribution towards the off site provision of affordable housing in the borough	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	On commencement of development
G.A Shepherd Investments	81 St Marks Road, Bush Hill Park Enfield EN1 1BJ	Conversion of ground floor retail to a 1-bed self-contained flat involving new windows to front and entrance door to the side elevation.	16.04.14	Bush Hill Park		11,000.00	525.00	No Deadline	S106 Management Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Upon completion. TBC if paid
Nicon Developments Limited	1-24 River Bank London N21 2AA	Formation of third floor involving extension to nord and dommer windows to all elevations to provide 2 x 2-bed self contained flats, 3-storey rear extension to provide lift shaft and installation of french doors and juliet balconies to rear of all four blocks to provide a total of 8 additional residential units.	13.05.14	Bush Hill Park		221,096.23	175,720.00		Affordable Housing Contribution towards the off site provision of affordable housing in the borough	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	Prior to commencement of development
Nicon Developments Limited	1-24 River Bank London N21 2AA	Formation of third floor involving extension to noof and dommer windows to all elevations to provide 2 x 2-bed self contained flats, 3-storey rear extension to provide lift shaft and installation of french doors and juliet balconies to rear of all four blocks to provide a total of 8 additional residential units.	13.05.14	Bush Hill Park		221,096.23	14,847.84		Education Contribution towards the provision of educational facilities within the Borough required as a consequence of the scheme	Keith Rowley	S&CS	EDU	Prior to commencement of development
Nicon Developments Limited	1-24 River Bank London N21 2AA	Formation of third floor involving extension to nood and domier windows to all elevations to provide 2 x 2-bed self contained flats, 3-storey rear extension to provide lift shaft and installation of french doors and juliet balconies to rear of all four blocks to provide a total of 8 additional residential units.	13.05.14	Bush Hill Park		221,096.23	20,000.00		Highways and Transport Contribution towards the cost od providing junction protection, extending footway from Green Lanes to River Bank, maintaining and improving Greenways (see SIG) for further detail)	David Taylor	R&E	T&T	Prior to commencement of development
Nicon Developments Limited	1-24 River Bank London N21 2AA	Formation of third floor involving extension to rood and dommer windows to all elevations to provide 2 + 2-bed self contained flats, 3-storey rear extension to provide lift shaft and installation of french doors and juliet balconies to rear of all flour blocks to provide a total of 8 additional residential units.	13.05.14	Bush Hill Park		221,096.23	10,528.39		S106 Management Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Prior to commencement of development
Sanjiv Shanital Shah	16 Chase Hill Enfield EN2 8DQ TP/11/1739	Subdivision of site and erection of a part 2 storey, 3-bed semi detached single family dwelling.	12.10.12	Highlands	Enfield North	35,671.36	25,040.00	Within 5 years from the date of receipt of payment	Affordable Housing Contribution towards the off site provision of affordable housing in the borough	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	Payments are due upon commencement of development. No planning details have been submitted and Building Control database checked , information suggests that works have not commenced. Applicant has been contacted for an update
Sanjiv Shanital Shah	16 Chase Hill Enfleid EN2 8DQ TP/11/1739	Subdivision of site and erection of a part 2 storey, 3-bed semi detached single family dwelling.	12.10.12	Highlands	Enfield North	35,671.36	2,126.00	Within 5 years from the date of receipt of payment	Mayoral CL		TFL	TFL	Payments are due upon commencement of development. No planning details have been submitted and Building Control database checked , information suggests that works have not commenced. Applicant has been contacted for an uodate
Sanjiv Shanital Shah	16 Chase Hill Enfield EN2 8DQ TP/11/1739	Subdivision of site and erection of a part 2 storey, 3-bed semi detached single family dwelling,	12.10.12	Highlands	Enfield North	35,671.36	6,907.96	Within 5 years from the date of receipt of payment	Education Contribution towards the provision of educational facilities within the Borough required as a consequence of the scheme	Keith Rowley	S&CS	EDU	Payments are due upon commencement of development. No planning details have been submitted and Building Control database checked, information suggests that works have not commenced. Applicant has been contacted for an update
Sanjiv Shanital Shah	16 Chase Hill Enfield EN2 8DQ TP/11/1739	Subdivision of site and erection of a part 2 storey, 3-bed semi detached single family dwelling.	12.10.12	Highlands	Enfield North	35,671.36	1,597.40	Within 5 years from the date of receipt of payment	\$106 Monitoring	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	PAID
Cuckoo Hall Academies Trust	Enfield College Site, The Ride, Enfield EN3 7DY P12-01762PLA	Redevolupment of land at trace of Endeld Calleges involving demolstion of The Red Callege buildings and intercales containers to provide a detached 2 actively building for a 2 form entry (Himay Academy (122) pupil) and the Wimary school (23 pupils) with ground floor canceys and first, floor buildings to an editoriation, first floor terraces and ground floor canceys to see elevation, come to main entraces south of zee, out and hang buy areas to motif of the floor terraces and ground floor canceys to see elevation, first floor terraces and ground floor canceys to see elevation and the second terrace and ground floor canceys to see elevation and the second floor and terraces and ground floor cances and the second floor and terraces and ground floor cances to second terrace and ground floor cances and terraces and the second floor and terraces and ground floor cances and terraces and the second floor cances and terraces and the second floor cances and terraces and the second floor cances and terraces and terraces and terraces and terraces and terraces and the second floor cances and terraces and terraces and the second floor cances and terraces and	06.12.12	Enfield Highway	Enfield North	57,400.00	50,000.00	Within 5 years of the date of payment	Travel Plan Monitoring fee for monitoring travel plan	Anna Jakakca	R&E	T&T	Prior to occupation. Involce has been issued, payment is being pursued.
Cuckoo Hall Academies Trust	Enfield College Site, The Ride, Enfield EN3 7DY P12-01762PLA	Redevelopment of land at near of Enfield College involving demolition of The Red College building and nelocation of metal storage container to provide a detached 2 storaby building for a 3 low metry Finany Facatemy (1420 pupil) and Nurrey Academy (1420 p	06.12.12	Enfield Highway	Enfield North	57,400.00	3,500.00	Within 5 years of the date of payment	Details of Employment and Training Package	Anna Loughlin	R&E	T&T	Prior to occupation
Cuckoo Hall Academies Trust	Enfield College Site, The Ride, Enfield EN3 7DY P12-01762PLA	Redverippment of land at mar of Einfeld College involving demotition of The Red College building and relocation of metal astrage container to provide a detached 2 storely building for a 3 zhome entry Finany Academy (2420 pupil) and Nurvey Academy (2420 p	06.12.12	Enfield Highway	Enfield North	57,400.00	Non monetary		Details of Landscaping Scheme	Matt Watts	R&E	PARKS	Within one month of commencement of development
Cuckoo Hall Academies Trust	Enfield College Site, The Ride, Enfield EN3 7DY P12-01762PLA	Redverlopment of land at near of Enfletd College involving demolition of The Ride College building and relocation of metal atorage container to provide a detached 2 storely building for a 3 lowen entry Pintary Academy (200 pupil) and Nurvey Academy	06.12.12	Enfield Highway	Enfield North	57,400.00	Non monetary		Details of Access Arrangements	David Taylor	R&E	тат	Prior to occupation
Cuckoo Hall Academies Trust	Enfield College Site, The Ride, Enfield EN3 7DY P12-01762PLA	Redverlapment of hand at threar of Einfield College involving demotition of The Ride College building and relocation of metal atorage container to provide a detached 2 storely building for a 3 lown entry Finany Facatemy (1420 pupil) and Nurrey Academy (1	06.12.12	Enfield Highway	Enfield North	57,400.00	Non monetary		interim Travel Plan.	David Taylor	R&E	T&T	Prior to occupation
Cuckoo Hall Academies Trust	Enfield College Site, The Ride, Enfield EN3 7DY P12-01762PLA	Redweispment of land at near of Einfeld College involving demotition of The Reds College building and relocation of metal assage container to provide a detached 2 studye building for a 3 kmm entry Finany. Facatemy (LBZ pupit) and Nurrey Acatemy (LBZ pupit) and Nurrey (LBZ pupit) and Nurrey Acatemy (LBZ pupit) and Nurrey (LBZ pupit) and	06.12.12	Enfield Highway	Enfield North	57,400.00	Non monetary		Update Interim Travel Plan to the Travel Plan (including surveys compatible with ITRACE and show baseline figures for travel behaviour refer to clause 3.4 for further details)	David Taylor	R&E	T&T	No later then 2 months prior to the intended first date of occupation for the Interim Travel Plan. Main Travel Plan expected within 3 months of first occupation.
Cuckoo Hall Academies Trust	Enfield College Site, The Ride, Enfield EN 3 7DY P12-01762PLA	Redevelopment of land at near of Enfield College involving demolition of The Rok College building and neiocration of metal storage container to provide a detached 2 storaby building for a 3 low entry Hinary Academy (ADD pupit) and Nurvey (ADD pupit) and Nurvey Academy (ADD pupit) and Nurvey (ADD pupit) an	05.12.12	Enfield Highway	Enfield North	57,400.00	3,900.00	No Deadline	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	PAID
Scottish Widows Unit Funds Limited	232 Great Cambridge Road Enfield EN1 1TY P12- 01895PLA	Demolition of existing unit and erection of two retail units with associated car parking and servicing area.	07.01.13	Southbury	Enfield North	30,948.75	29,475.00	No Deadline	Carbon Fund Contribution to be paid to the Council as contribution to the provision of a carbon fund in the Borough	Rob Singleton	R&E	Development J Management	All payments are due on commencement of development Carbon Contribution should be index linked.
Scottish Widows Unit Funds Limited	232 Great Cambridge Road Enfield EN1 1TY P12- 01895PLA	Demolition of existing unit and erection of two retail units with associated car parking and servicing area.	07.01.13	Southbury	Enfield North	30,948.75	1,473.75	No Deadline	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	NOTE THERE ARE TWO \$106's - signed 07.01.13 and 20.03.13. All money has been received for the 20.03.13 agreement
Kypros Nicholas & Jetspan Limited	10& 12 Old Park Road and Garages Adjacent to 41-51 Calshot Way EN2 78H TP/11/0338	Redevelopment of rate to provide 14 residential units in 2.2 - dromy block (Block A.1x bed and 4.2 bed and Block B.5 x 2 bed and 2.3 x bed and 4.2 bed and Block B.5 x 2 bed and 2.3 x bed and 2.4 bed well contained that with basement ensing, access from Obj park Read and calculative Way, terrares to finat and accond foor all front ade and rear and accommodation in nod space with dommer windows to front and rear. Redevelopment of the to provide 14 residential units in 2.2 - dromy block (Block A.1 x bed and 4.2 bed and Block B.2 z bed and 2.2 x b	29.02.12	Grange	Enfield North	236,912.00	200,000.00	Within 8 years from the date of receipt	Affordable Housing Contribution towards the off site provision of affordable housing in the borough	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	Prior to commencement of development to pay to the Council 35% of the AH contribution. The remaining 65% to be paid within 28 days of the 7th market housing unit being sold.
Kypros Nicholas & Jetspan Limited	10& 12 Old Park Road and Garages Adjacent to 41-51 Calshot Way EN2 7BH TP/11/0338	bed self contained flats) with basement parking, access from Old park Road and Calshot Way, terraces to first and second floor at front side and rear and accommodation in roof spaces with dormer windows to front and rear.	29.02.12	Grange	Enfield North	236,912.00	34,412.00	Within 8 years from the date of receipt	Education Contribution towards the provision of educational facilities within the Borough required as a consequence of the scheme	Keith Rowley	S&CS	EDU	Payment due prior to commencement of development. Unlikely to be implemented as new application granted permission and S106 signed.
Kypros Nicholas & Jetspan Limited	10& 12 Old Park Road and Garages Adjacent to 41-51 Calshot Way EN2 7BH TP/11/0338	Redevelopment of site to provide 14 residential units in 2 x 3 carry blocks (Block A 3 x 3-bed and 4 x 2 bed and Block B 5 x 2 bed and 2 x 3- bed self contained flat) with basement parking, access from Old park Road and Calabet Way, terraces to first and second floor at front side and rear and accommodation in nod spaces with dormer windows to front and rear.	29.02.12	Grange	Enfield North	236,912.00		Within 8 years from the date of receipt	Overage (threshold in S106)	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	
Kypros Nicholas & Jetspan Limited		Rederedences of disk to provide M residentia units to 2.2 carety block (Block 3.3.7.3 decl and 4.2.2 bad and Block 8.5.7.3 bad and 2.3.3 bed self contained flatty with bakement practications accession for disk reds and accidantly days threats to find and accounts of the set	29.02.12	Grange	Enfield North	236,912.00	2,500.00	Within 8 years from the date of receipt	Waiting Restrictions in accordance with Schedule 2 to be used for the design and implementation of any such waiting restrictions in Calshot Way or in the vicinity of the vehicular access to the Land as shown in the Application	David Taylor	R&E	T&T	Payments due prior to commencement of development
Barclays Bank & Bank of Scotland PLC	1 Crescent Road and 33 Waverley Road, Enfield EN2 7BN TP/10/0473	Redevelopment of site to provide a 3-storey block of 9 self contained flats (comprising 7 x 2-bed and 2 x 4-bed) involving accommodation in roof with dormer windows to front and side and a roof terrace, balconies to all sides and basement parking with access to Crescent Road.	17.01.2012	Grange	Enfield North	13,115.00	13,115.00	15 years from the date of receipt	Education Contribution towards the provision of educational facilities within the Borough required as a consequence of the scheme	Keith Rowley	S&CS	EDU	Payment is due on commencement of development. No details have been submitted, emailed agent to confirm status.
Roger lan Dudding	Dudrich Mews, Drapers Road EN2 8LU P13- 03021PLA	Conversion of roof space into 1 x 2 bed self contained flat.	28.02.2014	твс		27,318.35	24,161.50		Affordable Housing Contribution	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	INVOICE SENT 03.09.2015
Roger lan Dudding	Dudrich Mews, Drapers Road EN2 8LU P13- 03021PLA	Conversion of roof space into 1 x 2 bed self contained flat.	28.02.2014	TBC		27,318.35	1,300.87		S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	INVOICE SENT 03.09.2015
Roger lan Dudding	Dudrich Mews, Drapers Road EN2 8LU P13- 03021PLA	Conversion of roof space into 1 x 2 bed self contained flat.	28.02.2014	TBC		27,318.35	1,855.98		Education Contribution towards the provision of educational facilities within the Borough required as a consequence of the scheme	Head of Service	S&CS	EDU	INVOICE SENT 03.09.2015
London Community Learning Trust	Ladysmith Road, Edmonton, Enfield London N18 2QR: 14/04205/FUL	Erection of a part single, part 3 storey 420 place primary school for pupils aged 4-11 years, provision of multi-use games area (MUGA), soft and hard surfaced play areas, associated landscaping, perimeter fencing and car and cycle parking accessed from Albany Road	19.10.2015	Edmonton		74,137,39	52,962.39		Play equipment contribution towards the re-provision of play equipment in the retained publicly accessible open space	Matt Watts	R&E	PARKS	Due prior to commencement date

London Community Learning Trust	Ladysmith Road, Edmonton, Enfield London N18 2QR. 14/04205/FUL	Erection of a part single, part 2-storey 420 place primary school for pupils aged 4-11 years, provision of multi-use games area (MUGA), soft and hard surfaced play areas, associated landscaping, perimeter fencing and car and cycle parking accessed from Albany Road	19.10.2015	Edmonton		74,137,39	1,175.00		S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	PAID 15.10.2015
London Community Learning Trust	Ladysmith Road, Edmonton, Enfield London N18 2QR. 14/04205/FUL	Erection of a part single, part 2-storey 420 place primary school for pupils aged 4-11 years, provision of multi-use games area (MUGA), soft and hard surfaced play areas, associated landscaping, perimeter fending and car and cycle parking accessed from Albany Road	19.10.2015	Edmonton		74,137,39	20,000.00		Highways Contribution	David Taylor	R&E	T&T	Due prior to commencement date
HP Investments Ltd	100 High Street N14 6BN 15/04472/FUL	Demolition of existing decked car park & erection of 90 room Hotel.	05.08.2016	Southgate		46,615.00	10,000.00		CPZ Consultation Contribution	David Taylor	R&E	T&T	All due on or before the commencement date (£44,740)
HP Investments Ltd	15/04472/F0L 100 High Street N 14 6BN 15/04472/FUL	Demolition of existing decked car park & erection of 90 room Hotel.	05.08.2016	Southgate		46,615.00	15,000.00		CPZ Implementation Contribution	David Taylor	R&E	T&T	All due on or before the commencement date (£44,740)
HP Investments Ltd	100 High Street N14 6BN	Demolition of existing decked car park & erection of 90 room Hotel.	05.08.2016	Southgate		46,615.00	2,500.00		Parking Control Contribution	David Taylor	R&E	T&T	All due on or before the commencement date (£44,740)
HP Investments Ltd	15/04472/FUL 100 High Street N14 6BN	Demolition of existing decked car park & erection of 50 room Hotel.	05.08.2016	Southeate		46,615.00	10,000.00		Parking Surveys Contribution	David Tavlor	R&E	T&T	All due on or before the commencement date (£44,740)
	15/04472/FUL 100 High Street N14 6BN		05.08.2016	Southgate		46,615.00	7 240 00			Anna Jakacka	R&E	T&T	All due on or before the commencement date (£44,740)
HP Investments Ltd	15/04472/FUL	Demolition of existing decked car park & erection of 90 room Hotel.	05.08.2016	Southgate		46,615.00	7,240.00		Travel plan monitoring fee	Anna Jakacka	KSE		All due on or before the commencement date (£44,740)
HP Investments Ltd	100 High Street N 14 6BN 15/04472/FUL	Demolition of existing decked car park & erection of 90 room Hotel.	05.08.2016	Southgate		46,615.00	1,875.00		S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Due on date of signing the deed (05/08/2016)
HP Investments Ltd	365 Hertford Road, London, N9 7BN 15/05291/FUL	Conversion of existing medical practice (Use Class D1) to office (Use Class A2) at ground floor level and 1x studio flat (Use Class C3) at first floor, involving a single storey front extension to incorporate a new shop front, new entrance to flank elevation and associated cycle parking	09.08.2016	TBC		4,000.00	3,205.53		Affordable Housing	Sarah Carter	HHASC	Development and Estate Renewal	
HP Investments Ltd	365 Hertford Road, London, N9 7BN 15/05291/FUL	Conversion of existing medical practice (Use Class D1) to office (Use Class A2) at ground floor level and 1 x studio flat (Use Class C3) at first floor, involving a single storey front extension to incorporate a new shop front, new entrance to flank elevation and associated cycle parking	09.08.2016	TBC		4,000.00	603.99		Infrastructure Contribution	TBC	R&E	TBC	
HP Investments Ltd	365 Hertford Road, London, N9 7BN 15/05291/FUL 381 Cockfosters Road Enfield EN4 0/5. P14-	Conversion of existing medical practice (Use Class D1) to office (Use Class A2) at ground floor level and 1 x studio flat (Use Class C3) at first floor, involving a single storey front extension to incorporate a new shop front, new entrance to flank elevation and associated cycle parking	09.08.2016	TBC		4,000.00	190.48		S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN Development and	
381 Cockfosters Road LLP	02203PLA	Redevelopment of site and erection of a new block of 9 flats (comprising of 1 x 3 bed, 6 x 2 bed and 2 x 1 bed).	16.08.2016	Cockfosters		336,233.37	336,233.27		Affordable Housing	Sarah Carter	HHASC	Estate Renewal	Payable in 2 installments of £168,116.63 and £168,116.64
Shanly Homes Ltd and Nicon Developments	1 Coombehurst Close EN4 0JU 16/00211/FUL	Demolition of the existing dwelling and erection of 8 apartments with associated access, basement parking, manoeuvring, landscaping and ancillary facilities	17.08.2016	Cockfosters		339,640.46	289,056.41		Affordable Housing	Sarah Carter	HHASC	Development and Estate Renewal	50% (£144,528.21) due on or prior to commencement. Remaining 50% (144,528,20) due on or prior to occupation of development
Shanly Homes Ltd and Nicon Developments	1 Coombehurst Close EN4 0JU 16/00211/FUL	Demolition of the existing dwelling and erection of 8 apartments with associated access, basement parking, manoeuvring, landscaping and ancillary facilities	17.08.2016	Cockfosters		339,640.46	35,055.76		Infrastructure Contribution	TBC	R&E	TBC	Due in full on or prior to occupation.
Shanly Homes Ltd and Nicon Developments	1 Coombehurst Close EN4 0JU 16/00211/FUL	Demolition of the existing dwelling and erection of 8 apartments with associated access, basement parking, manoeuvring, landscaping and ancillary facilities	17.08.2016	Cockfosters		339,640.46	15,528.29		S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Monitoring fee payable on or prior to commencement
Southgate London Properties Ltd, Hampshire Trust Bank PLC	309 Chase Road Southgate N14 6JS 16/D1133/FUL	Construction of 2 x additional floors to building to provide 5 x 2-bedroom residential units; additional cycle parking and refuse storage.	15.09.2016	Southgate		350.00	350.00	No Deadline	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	due on date of signing the undertaking
Southgate London Properties Ltd, Hampshire Trust Bank PLC	309 Chase Road Southgate N14 6JS 16/01133/FUL	Construction of 2 x additional floors to building to provide 5 x 2-bedroom residential units; additional cycle parking and refuse storage.	15.09.2016	Southgate		350.00	Non monetary	No Deadline	Parking Permit restriction	David Taylor	R&E	T&T	non-monetary contribution
Magic Living Ltd	Za/2b Park Avenue London N21 2UH; 15/04736/FUL	Demolition of existing warehouse and erection of a part 3, part 4 storey block to provide 14 flats (comprising 4x3bed, 7x2 bed, 3x1 bed flats), with associated cycle/refuse storage and landscaping.	19.09.2016	Edmonton Green		33,611.20	9,333.24		Cycle Infrastructure Improvement	David Taylor	R&E	тат	ALL CONTRIBUTIONS DUE ON OR BEFORE COMMENCEMENT DATE. For cycle infrastructure improvements on Park Road between the railway bridge and Fore Street: and on Fore Street between Brettenham Rd and Park Avenue
Magic Living Ltd	2a/2b Park Avenue London N21 2UH; 15/04736/FUL	Demolition of existing warehouse and erection of a part 3, part 4 storey block to provide 14 flats (comprising 4x8bed, 7x2 bed, 3x1 bed flats), with associated cycle/refuse storage and landscaping.	19.09.2016	Edmonton Green		33,611.20	387,176.00		Highway Works	Mick Pond	R&E	T&T	ALL CONTRIBUTIONS DUE ON OR BEFORE COMMENCEMENT DATE. For the removal of the redundant vehicle crossover, provision of a new vehicle crossover and the associated footway reinstatment and repairs to the existing footway
Magic Living Ltd	2a/2b Park Avenue London N21 2UH; 15/04736/FUL	Demolition of existing warehouse and erection of a part 3, part 4 storey block to provide 14 flats (comprising 4xBed, 7x2 bed, 3x1 bed flats), with associated cycle/refuse storage and landscaping.	19.09.2016	Edmonton Green		33,611.20	15,000.00		Pedestrian Environment Improvements	David Taylor	R&E	T&T	ALL CONTRIBUTIONS DUE ON OR BEFORE COMMENCEMENT DATE. For improvements to the pedestrian environments in the access to Silver Street station, Park Road leading to Fore St and the junction of Park Avenue with Park
Magic Living Ltd	Za/Zb Park Avenue London N21 2UH; 15/04736/FUL	Demolition of existing warehouse and erection of a part 3, part 4 storey block to provide 14 flats (comprising 4x3bed, 7x2 bed, 3x1 bed flats), with associated cvcde/refuse storage and landscaping.	19.09.2016	Edmonton Green		33,611.20	3,620.00		Travel Plan Implementation Monitoring Fee	David Taylor	R&E	T&T	Road ALL CONTRIBUTIONS AND TRAVEL PLAN MONITORING FEE DUE ON OR BEFORE COMMENCEMENT DATE.
Magic Living Ltd	2a/2h Park Avenue London N21 2UH	Demolition of existing warehouse and erection of a part 3, part 4 storey block to provide 14 flats (comprising 4x3bed, 7x2 bed, 3x1 bed flats),	19.09.2016	Edmonton Green		33,611.20	1,786.20		S106 Monitoring Fee	Head of Service	R&E	T&T	PAID 19/09/16
Magic Living Ltd	15/04736/FUL 2a/2b Park Avenue London N21 2UH;	with associated cycle/refuse storage and landscaping. Demolition of existing warehouse and erection of a part 3, part 4 storey block to provide 14 flats (comprising 4x3bed, 7x2 bed, 3x1 bed flats),	19.09.2016	Edmonton Green		33,611.20	TBC		Car Club Payment	David Taylor	R&F	T&T	£278.50 for each dwelling which does not join the Car Club - payment level will
Hillnet Properties Ltd, James Thomas Rodd and	15/04736/FUL Kingswood Nurseries, Bullsmoor Lane, EN1 4SF.	with associated cycle/refuse storage and landscaping. Development of 56 residential units in 2 blocks: 5x4 bed 7x2 bed and 2x3 bed homes plus 21 x 1 bed. 10 x 2 bed and 11 x 3 bed flats	23.01.2017	TBC		207.318.76	12 Units		Affordable Housing	Rupert Brandon	HHASC	Development and	be calculated at a later date
Jacqueline Rodd Hillnet Properties Ltd, James Thomas Rodd and	15/02745/FUL Kingswood Nurseries, Bullsmoor Lane, EN1 45F.		23.01.2017	TBC							SCS	Estate Renewal	
Jacqueline Rodd	15/02745/FUL Kingswood Nurseries, Bullsmoor Lane, EN1 45F.	Development of 56 residential units in 2 blocks; 5x4 bed 7x2 bed and 2x3 bed homes plus 21 x 1 bed, 10 x 2 bed and 11 x 3 bed flats				207,318.76	3,471.54		Childcare Contribution	Keith Rowley	R&F	EDU	Payable on or prior to the disposal of the 15th market housing unit.
Jacqueline Rodd Hillnet Properties Ltd. James Thomas Rodd and	15/02745/FUL	Development of 56 residential units in 2 blocks; 5x4 bed 7x2 bed and 2x3 bed homes plus 21 x 1 bed, 10 x 2 bed and 11 x 3 bed flats	23.01.2017	TBC		207,318.76	150,000.00		Highways Contribution	David Taylor		T&T	To be paid in full on or prior to commencement of development
Jacqueline Rodd	15/02745/FUL	Development of 56 residential units in 2 blocks; 5x4 bed 7x2 bed and 2x3 bed homes plus 21 x 1 bed, 10 x 2 bed and 11 x 3 bed flats	23.01.2017	TBC		207,318.76	TBC		Business and Employment Initiative contribution	Anna Loughlin	R&E	BED STRATEGIC PLANNING	
Hillnet Properties Ltd, James Thomas Rodd and Jacqueline Rodd	Kingswood Nursenes, Builsmoor Lane, EN1 45F. 15/02745/FUL	Development of 56 residential units in 2 blocks; 5x4 bed 7x2 bed and 2x3 bed homes plus 21 x 1 bed, 10 x 2 bed and 11 x 3 bed flats	23.01.2017	TBC		207,318.76	9,872.32		S106 Monitoring Fee	Head of Service	R&E	& DESIGN	50% (£21,987.45) to be paid on or prior to the disposal of the 15th market
Hillnet Properties Ltd, James Thomas Rodd and Jacqueline Rodd	15/02745/FUL	Development of 56 residential units in 2 blocks; 5x4 bed 7x2 bed and 2x3 bed homes plus 21 x 1 bed, 10 x 2 bed and 11 x 3 bed flats	23.01.2017	TBC		207,318.76	43,974.90		Education contribution	Keith Rowley	SCS	EDU	Sum (E21,967.45) to be paid on or prior to the elsposal of the 15th market housing unit. Remainder to be paid on or prior to the sale/disposal of the 30th market housing unit.
City and Suburban Homes Ltd and Peter Delmaestro	Relating to the development of land and buildings on the West side of Park Avenue London N18 2UH. 16/01561/FUL	Demolition of existing buildings and erection of part flow, part flve storey residential building to provide 24 x flats (comprising 10 x 1 bed, 10 x 2 bed and 4 x 3 bed flats) with green roof, associated parking and landscaping.	22.12.2016	Edmonton		78,601.54	52,231.54	5 years from date of receipt	Education Contribution	Keith Rowley	SCS	EDU	Due on commencement
City and Suburban Homes Ltd and Peter Delmaestro	Relating to the development of land and buildings on the West side of Park Avenue London N18 2UH. 16/01561/FUL	Demolition of existing buildings and erection of part flow, part flve storey residential building to provide 24 x flats (comprising 10 x 1 bed, 10 x 2 bed and 4 x 3 bed flats) with green roof, associated parking and landscaping.	22.12.2016	Edmonton		78,601.54	7 units		Affordable Housing	Rupert Brandon	HHASC	Development and Estate Renewal	
City and Suburban Homes Ltd and Peter Delmaestro	Relating to the development of land and buildings on the West side of Park Avenue London N18 2UH. 16/01561/FUL	Demolition of existing buildings and erection of part flow, part flve storey residential building to provide 24 x flats (comprising 10 x 1 bed, 10 x 2 bed and 4 x 3 bed flats) with green roof, associated parking and landscaping.	22.12.2016	Edmonton		78,601.54	1,370.00		S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING & DESIGN	Due on date of signing deed
City and Suburban Homes Ltd and Peter Delmaestro	Relating to the development of land and buildings on the West side of Park Avenue London N18 2UH. 16/01561/FUL	Demolition of existing buildings and erection of part four, part five storey residential building to provide 24 x flats (comprising 10 x 1 bed, 10 x 2 bed and 4 x 3 bed flats) with green roof, associated parking and landscaping.	22.12.2016	Edmonton		78,601.54	25,000.00	5 years from date of receipt	Highway Contribution: £15,000 for a PERS audit & £10,000 for cycle route improvements	David Taylor	R&E	T&T	Due on commencement
Lidl UK GmbH	654 Hertford Road, Enfield EN 3 6LZ	Development of a new retail store	07.03.2017	TBC		7,796.25	7,425.00	10 years fron date of receipt	Carbon Shortfall contribution	Jeff Laidlaw	R&E	SUSTAINABILITY	Due on commencement
LidI UK GmbH	654 Hertford Road, Enfield EN3 6LZ	Development of a new retail store	07.03.2017	твс		7,796.25	371.25	10 years fron date of receipt	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING & DESIGN	Payable on date of signing the deed
Tenpin Limited	3 Dearsley Road, Enfield EN1 3RR 06/1588 SOUTHRURY	Change of use from nightclub to ten pin bowing and family entertainment centre	22.01.08	Southbury	Enfield North	25,000.00	15,000.00	Within 5 years of the date of receipt of navment	Footway Contribution For improvements to the footway in Southbury Road, Crown Road and or Dearsley Road or within the vicinity of the land	David Taylor	R&E	T&T	Payment due on or before Implementation. Change of use application granted in 2010 for change of use from nightclub to non-food retail for which planning details are being submitted to Development Management.
Tenpin Limited	3 Dearsley Road, Enfield EN1 3RR 06/1588 SOUTHBURY	Change of use from nightclub to ten pin bowing and family entertainment centre	22.01.08	Southbury	Enfield North	25,000.00	10,000.00	Within 5 years of the date of receipt of payment	Public Transport improvements to existing bus stops on the Tell road network in the vicinity of the land	David Taylor	R&E	T&T	Payment due on or before implementation. Change of use application granted in 2010 for change of use from nightclub to non-food retail for which planning details are being submitted to Development Management.
Bertram Okereke		Erection of a part 2-storey, 3-bed detached single family dwelling with rear dormer, off street parking at front and access to Ferndale Road.	05.07.12	Enfield Lock	Enfield North	8,320.00	7,020.00	NO DEADLINE	Affordable Housing Contribution towards the off site provision of affordable housing in the borough	Sarah Carter	HHAASC	Development & Estates Renewal - Council	Payment is due prior to commencement of development. No planning details have been submitted and Building Control database checked , information suspect that works have not commenced .deent confirmed that the site bas
Bertram Okereke	79 Ferndale Road Enfield EN3 6DJ TP/11/1561	Erection of a part 2-storey, 3-bed detached single family dwelling with rear dormer, off street parking at front and access to Ferndale Road.	05.07.12	Enfield Lock	Enfield North	8,320.00	1,300.00	NO DEADLINE	S106 Monitoring Fee	Head of Service	R&E	Homes STRATEGIC PLANNING AND DESIGN	been sold on, waiting call back from new owner's solicitors. PAID
LBE & Hettiarachchige Dissanayake & Marc Dissanayake Limited	Former Merryhills Library/Clinic Enfield Road, Enfield EN2 7HL TP/08/1951 HIGHLANDS	Redevelopment of site by the erection of a detached 3-storey building to provide a new group practice Doctors Surgery on ground floor and 14 x 2-bed flats on first and second floors with balconies to both sides at first and second floor level.	20.01.09	Highlands	Enfield North	25,000.00	25,000.00	Within 3 years from the date of receipt.	Highways Works fee towards cost of preparing the specification		R&E	T&T	No further planning details have been submitted since 2009. Developer confirmed that planning permission has not been implemented vet.
Dissanayake Limited		14.2 deb tatis on inst auto skondo hoors with auconist to dominister at inst and exclond hoor level. Redevelopment of too provide 9 articulations flats and 2 comparison and any 2 company back with none in not and domine windows. Block fronting herefrond head comprising Statism of commercial flot within 2 - 2 company back within a statism of the 1 block to the max comprising 2 cable of 2 and	23.03.12	Enfield Lock	Enfield North	51,450.00	22,196.52	NO DEADLINE	towards cost of preparing the specification Affordable Housing Contribution towards provision of affordable housing in the borough	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	All contributions are to be paid on the Commencement date Although no planning details have been submitted, Building Control database shows an initial site notice application. Invoice has been issued, payment is being actively
Dora Savva and Krpu Kakalov	783 Hertford Road, EN3 6QU TP/11/1825	Evolution to the test comparing at 3 setu; 1 setu; and	23.03.12	Enfield Lock	Enfield North	51,450.00	16,803.48	NO DEADLINE	Education Contribution towards the provision of educational facilities within the Borough required as a consequence of the scheme	Keith Rowley	S&CS	EDU	pursued. All contributions are to be paid on the Commencement date Although no planning details have been submitted, Building Control database shows an initial site notice application. Invoice has been issued, payment is being actively
Dora Savva and Krpu Kakalov	783 Hertford Road, EN3 6QU TP/11/1825	Evolution to the test comparing at 3 setu; 1 setu; and	23.03.12	Enfield Lock	Enfield North	51,450.00	10,000.00	NO DEADLINE	Green Way Contribution towards the provision of green way cycle paths within the Borough	Steve Jaggard	R&E	T&T	pursued. All contributions are to be paid on the Commencement date Although no planning details have been submitted, Building Control database shows an initial site notice application. Invoice has been issued, payment is being actively
Dora Savva and Krpu Kakalov	783 Hertford Road, EN3 6QU TP/11/1825	Received in the topposition of a set constant of fasts and a commercial uncertaintian a set action before participation on rotation Received and the composition of the set of	23.03.12	Enfield Lock	Enfield North	51,450.00	2,450.00	NO DEADLINE	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	pursued. All contributions are to be paid on the Commercement date Although no planning details have been submitted, Building Control database shows an initial site notice application. Invoice has been issued, payment is being actively pursued.
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Magnacrest Ltd	Land at 28 and 28a Slades Hill Enfield EN2 7EE TP/10/0491	Redevelopment of site to provide a part 2 storey, part 4-storey block of 9 self contained flats (5x 3 bed & 3 x 2 bed) with reol terrace, balkonies to front and rear and accommodation and parking in basement with access to Stades Hill.	04.03.11	Highlands	Enfield North	13,115.00	13,115.00	NO DEADLINE	Education Contribution towards the provision of educational facilities within the Borough required as a consequence of the scheme	Keith Rowley	S&CS	EDU	Payment due on or before commencement of development. Developer has confirmed that works have commenced on site and an invoice has been issued. Payments the logicards. (PIATS VIED 415 - Findin and end to be internally transformed from the 14,680 which tofield ower Mogurorest Ltd (see Finance Monitor Ltd); can be also also 50.00 ptk Modu).
Leonard Cheshire	Arnold House 66, The Ridgeway Enfield TP 04/1378 HIGHLANDS	Redevelopment of site for residential purposes. (Dutline application - means of access, siting and landscaping) Agreement signed 8:11.06	08.11.05	Highlands	Enfield North	35,000.00	35,000.00	Within 5 years of the date of receipt of payment	River Walkway & Cycle Path to construct and provide the use of the public highway in perpetuity. On completion of the above to provide public access to the River Walkway within one month of receiving notice from the Council.	David Taylor	S&CS	EDU	Payment due prior to commencement of development. No sign of development commencing applicant confirmed no works have started on site.
J Browne Properties UK, Santander & Volkerhighways Limited	Land at Edison Road Enfield EN3 7BY P12- 01186PLA	Change of use to a highways maintenance depot including the storage and recycling of utility excavation materials, the storage of primary aggregates, concreting batching, parking of vehicles and the erection of storage bays, weighbridge, site control office and weifare facilities.	24.06.13	Enfield Highway			Non monetary	NO DEADLINE	Programme of Maintenance		R&E	тат	Within 9 months of commencement of development
J Browne Properties UK, Santander & Volkerhighways Limited	Land at Edison Road Enfield EN3 7BY P12- 01186PLA	Change of use to a highways maintenance depot including the storage and recycling of utility excavation materials, the storage of primary aggregates, concreting batching, parking of vehicles and the erection of storage bays, weighbridge, site control office and weifare facilities.	24.06.13	Enfield Highway			Non monetary	NO DEADLINE	Lanscaping Scheme At developers own cost		R&E	тат	Prior to commencement of development for approval in writing
J Browne Properties UK, Santander & Volkerhiehways Limited	Land at Edison Road Enfield EN3 78Y P12- 01186PLA	Change of use to a highways maintenance depot including the storage and recycling of utility excavation materials, the storage of primary aggregates, concreting batching, parking of whicles and the erection of storage bays, weighbridge, site control office and weifare facilities.	24.06.13	Enfield Highway			Non monetary	NO DEADLINE				тат	Within 9 months of commencement of development
Managing trustees of Enfield Evangelical Free Church	The Emmanual Centre 145 Baker Street EN1 3JR	Demolition of existing building and erection of 6 self-contained flats (6 x 1-bed) in a 3-storey block with associated car parking.	01.10.13	Town		100,667.63	92,250.00	Within five years from the date of payment	Affordable Housing Contribution towards provision of affordable housing in the borough	Sarah Carter	HHAASC	Development & Estates Renewal - Council	Prior to commencement of development
Managing trustees of Enfield Evangelical Free Church	The Emmanual Centre 145 Baker Street EN1 3JR	Demolition of existing building and erection of 6 self-contained flats (6 x 1-bed) in a 3-storey block with associated car parking.	01.10.13	Town		100,667.63	3,623.94	Within five years from the date of payment	Education Contribution to provide educational facilities within Enfield as a consequence of the	Keith Rowley	S&CS	EDU	Prior to commencement of development
Managing trustees of Enfield Evangelical Free Church	The Emmanual Centre 145 Baker Street EN1 3JR	Demolition of existing building and erection of 6 self-contained flats (6 x 1-bed) in a 3-storey block with associated car parking.	01.10.13	Town		100,667.63	4,793.69	Within five years from the date of payment	development S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	On commencement of development
Holland Park Limited	91 The Fairway London N14 4PB	Erection of a 2-bed detached bungalow, vehicular access to Masefield Crescent and off street parking.	23.10.13	Cockfosters		24,814.49	21,810.58	NO DEADLINE	Affordable Housing Contribution towards provision of affordable housing in the borough	Sarah Carter	HHAASC	Development & Estates Renewal - Council	Due prior to commencement of development
Holland Park Limited	91 The Fairway London N14 4PB	Erection of a 2-bed detached bungalow, vehicular access to Masefield Crescent and off street parking.	23.10.13	Cockfosters		24,814.49	1,855.98	NO DEADLINE	Education Contribution to provide educational facilities within Enfield as a consequence of the	Keith Rowley	S&CS	Homes	Due prior to commencement of development
Holland Park Limited	91 The Fairway London N14 4PB	Erection of a 2-bed detached bungalow, vehicular access to Masefield Crescent and off street parking.	23.10.13	Cockfosters		24,814.49	1,147.93	NO DEADLINE	development S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Due prior to commencement of development
Alan Hugh Nicholas	1 Hansart Way, Enfield EN3 8NB TP/11/1602	Construction of fourth floor to provide a total of 8 self contained flats (4 to each of the two blocks) comprising 2 x 3-bed and 2 x 2-bed, with	25.10.13	Highlands		217,243.02	100,000.00	Within 10 years from the	Initial Affordable Housing Contribution towards provision of affordable housing in the borough	Sarah Carter	HHAASC	AND DESIGN Development & Estates Renewal - Council	Prior to commencement of development
		balconies to front side and rear and an external supporting structure with solar panels and rainwater harvesting system.						date of payment TBC				Homes	At each Review Date (date of completion of sale of SPR of the units & the date of
Alan Hugh Nicholas	1 Hansart Way, Enfield EN3 8NB TP/11/1602	Construction of fourth floor to provide a total of 8 self contained flats (41 each of the two block) comprising 2 x 3 bed and 2 x 2 and, with balconies to front side and rear and an external supporting structure with solar panels and rainwater harvesting system.	25.10.13	Highlands		217,243.02	74,929.26	Within 10 years from the date of payment TBC	Final Affordable Housing Contribution towards provision of affordable housing in the borough Education Contribution	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	completion of the sale of the second to last unit) if it considered by the Council acting reasonably that the aggregate sales figure exceeds or will exceed the sum of £1,990,576 the Council can serve notice by the end of three months from the last review date, for the final AH contribution.
Alan Hugh Nicholas	1 Hansart Way, Enfield EN3 8NB TP/11/1602	Construction of fourth floor to provide a total of 8 self contained flats (4 to each of the two blocks) comprising 2 x 3-bed and 2 x 2-bed, with balconies to front side and rear and an external supporting structure with solar panels and rainwater harvesting system.	25.10.13	Highlands		217,243.02	35,055.76	Within 10 years from the date of payment TBC	Education Contribution to provide educational facilities within Enfield as a consequence of the development	Keith Rowley	S&CS	EDU	Prior to completion of the first housing unit
Alan Hugh Nicholas	1 Hansart Way, Enfield EN3 8NB TP/11/1602	Construction of fourth floor to provide a total of 8 self contained flats (4 to each of the two blocks) comprising 2 x 3-bed and 2 x 2-bed, with balconies to front side and rear and an external supporting structure with solar panels and rainwater harvesting system.	25.10.13	Highlands		217,243.02		Within 10 years from the date of payment TBC	Existing Car Park Provision				Prior to commencement of development
Alan Hugh Nicholas	1 Hansart Way, Enfield EN3 8NB TP/11/1602	Construction of fourth floor to provide a total of 8 self contained flats (4 to each of the two blocks) comprising 2 x 3-bed and 2 x 2-bed, with balconies to front side and rear and an external supporting structure with solar panels and rainwater harvesting system.	25.10.13	Highlands		217,243.02		Within 10 years from the date of payment TBC	Proposed Carp Park Provision				Prior to occupation
Alan Hugh Nicholas	1 Hansart Way, Enfield EN3 8NB TP/11/1602	Construction of fourth floor to provide a total of 8 self contained flats (4 to each of the two blocks) comprising 2 x 3-bed and 2 x 2-bed, with balconies to front side and rear and an external supporting structure with solar panels and rainwater harvesting system.	25.10.13	Highlands		217,243.02	7,258.00	Within 10 years from the date of payment TBC	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Due on date of agreement. Check with Legal if this was paid?
CfBT Schools Trust	On the East Side of Pitfield Way Enfield EN3 58Y P12-02101PLA	Erection of a part single, part 2-storey one form entry primary Academy to provide a total of 7 classrooms with access ramps and cycle parking at front, 3 off street parking spaces to north of site and pedestrian and vehicular access to Pitfield Way.	28.02.13	Turkey Street		46,900.00	30,000.00	Within 5 years of the date of receipt of payment	Highways CCTV Contribution	Alan Gardney	R&E	тат	Prior to occupation
CfBT Schools Trust	On the East Side of Pitfield Way Enfield EN3 58Y P12-02101PLA	Erection of a part single, part 2-storey one form entry primary Academy to provide a total of 7 classrooms with access ramps and cycle parking at front, 3 off street parking spaces to north of site and pedestrian and vehicular access to Pitfield Way.	28.02.13	Turkey Street		46,900.00	10,000.00	Within 5 years of the date of receipt of payment	Highways Footway Improvement Contribution to provide for footway improvements within the vicinity of the proposed development	David Taylor	R&E	тат	Within one month of commencement of development
CfBT Schools Trust	On the East Side of Pitfield Way Enfield EN3 58Y P12-02101PLA	Erection of a part single, part 2-storey one form entry primary Academy to provide a total of 7 dassrooms with access ramps and cycle parking at front, 3 off street parking spaces to north of site and pedestrian and vehicular access to Pitfield Way.	28.02.13	Turkey Street		46,900.00	3,500.00	Within 5 years of the date of receipt of payment	Travel Plan Monitoring Fee	Safiah Ishfaq	R&E	тат	Prior to occupation
CfBT Schools Trust	On the East Side of Pitfield Way Enfield EN3 58Y P12-02101PLA	Erection of a part single, part 2-storey one form entry primary Academy to provide a total of 7 dassrooms with access ramps and cycle parking at front, 3 off street parking spaces to north of site and pedestrian and vehicular access to Pitfield Way.	28.02.13	Turkey Street		46,900.00		Within 5 years of the date of receipt of payment	Interim Travel Plan / Travel Plan	Saflah Ishfaq	R&E		No later than 2 months prior to the first date of occupation
CfBT Schools Trust	On the East Side of Pitfield Way Enfield EN3 58Y P12-02101PLA	Erection of a part single, part 2-storey one form entry primary Academy to provide a total of 7 dassrooms with access ramps and cycle parking at front, 3 off street parking spaces to north of site and pedestrian and vehicular access to Pitfield Way.	28.02.13	Turkey Street		46,900.00	3,400.00	Within 5 years of the date of receipt of payment	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	On completion of the \$106
Janet Carol Silvey	LAND ADJACENT TO,84, BIRKBECK ROAD, ENFIELD, EN2 OED	Erection of 1 x 2 bed single family dwelling with off street parking.	09.09.13	Chase		16,580.00	13,934.50	No Deadline	Affordable Housing Contribution towards provision of affordable housing in the borough	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	Due upon occupation
Janet Carol Silvey	LAND ADJACENT TO,84, BIRKBECK ROAD, ENFIELD, EN2 OED	Erection of 1 x 2 bed single family dwelling with off street parking.	09.09.13	Chase		16,580.00	1,855.98	No Deadline	Education Contribution to provide educational facilities within the borough of Enfield	Keith Rowley	S&CS	EDU	Due upon occupation
Janet Carol Silvey	LAND ADJACENT TO,84, BIRKBECK ROAD, ENFIELD, EN2 OED	Erection of 1 x 2 bed single family dwelling with off street parking.	09.09.13	Chase		16,580.00	789.52	No Deadline	S106 Management Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	PAID
Southern Pacific Mortgage Limited	19, NORTHUMBERLAND AVENUE, ENFIELD, EN1 4HF	Subdivision of site, erection of 1 x 2-bed attached single family dwelling including extension to the roof at the side and single storey rear extension to existing dwelling.	07.03.14	TBC		9,572.70	9,094.70	No Deadline	Affordable Housing Contribution towards provision of affordable housing in the borough	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	Both payments due on commencement of development
Southern Pacific Mortgage Limited	19, NORTHUMBERLAND AVENUE, ENFIELD, EN1 4HF	Subdivision of site, erection of 1 x 2-bed attached single family dwelling including extension to the roof at the side and single storey rear extension to existing dwelling.	07.03.14	TBC		9,572.70	478.00	No Deadline	S106 Management Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Both payments due on commencement of development
Abbey Homes London Limited	178 Baker Street EN1 3JS P13-01487PLA	Erection of mansard roof to provide 1 x 2-bed self contained flat.	17.03.14	Chase		19,476.85	16,693.40		Affordable Housing Contribution towards provision of affordable housing in the borough	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	On commencement of development
Abbey Homes London Limited	178 Baker Street EN1 3JS P13-01487PLA	Erection of mansard roof to provide 1 x 2-bed self contained flat.	17.03.14	Chase		19,476.85	1,855.98		Education Contribution to provide educational facilities within the borough of Enfield	Keith Rowley	S&CS	EDU	On occupation of development
Abbey Homes London Limited	178 Baker Street EN1 3JS P13-01487PLA	Erection of mansard roof to provide 1 x 2-bed self contained flat.	17.03.14	Chase		19,476.85	927.47		S106 Management Fee Affordable Housing Contribution	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	On commencement of development TBC if paid with Legal.
Michael Anthony Byrne	111, Bullsmoor Lane Enfield EN3 6TQ P14- 00277PLA 111, Bullsmoor Lane Enfield EN3 6TQ P14-	Sub-division of site and erection of 4 self-contained flats	27.11.14	Enfield Lock		49,274.45	42,612.10		towards provision of affordable housing in the borough	Sarah Carter	HHAASC	Estate renewal	Only completion memo received - more info to be added
Michael Anthony Byrne	00277PLA	Sub-division of site and erection of 4 self-contained flats	27.11.14	Enfield Lock		49,274.45	4,315.95		to provide educational facilities within the borough of Enfield	Keith Rowley	S&CS	EDU STRATEGIC PLANNING	Only completion memo received - more info to be added
Michael Anthony Byrne	111, Bullsmoor Lane Enfield EN3 6TQ, P14- 00277PLA 73 Trent Gardens	Sub-division of site and erection of 4 self-contained flats	27.11.14	Enfield Lock		49,274.45	2,346.40		5106 Management Fee Health	Head of Service	R&E	AND DESIGN	Only completion memo received - more info to be added Details have recently been submitted to the development management team.
Ourris Properties	73 Trent Gardens London N14 4QB TP/10/1128 r/o Cherry Blossom Close and P/F by NCR	Erection of a part 3-domy, part 3-domy rear extension incorporating dommer windows to front, beth dates and near to provide 4 additional bedrooms to an existing former for the elderly windows communal areas and an additional if are granting spaces. Redevelopment of site for readential development comprising 142 units (12 houses and 130 fitta) together with open space for \$port and	01.04.11	Cockfosters	Southgate	156,000.00	156,000.00	NO DEADLINE	To be paid to the Council to enable Council to pay NHS Enfield PCT Primary Care to enable the PCT to reimburse the medical practices Education Contribution	Shahid Ahmed	HHAASC	PUBLIC HEALTH	although the building control database indicates that works have not started. Developer has been contacted for an update to confirm whether works have started. Discussions are taking place to alter nature of the provision to provide more
Fairview New Homes	BOWES TP/06/1845	Recreation Use and associated infrastructure (Outline application - layout, scale and access).	DOV 12.08.11	Bowes	Southgate	304,000.00	162,000.00	receipt	to provide educational facilities within Enfield as a consequence of the development		S&CS	Development & Estates	open space/parkland, which would require an amendment to the S106. Awaiting further details from DM Discussions are taking online to alter nature of the provision to provide more
Fairview New Homes	r/o Cherry Blossom Close and P/F by NCR BOWES TP/06/1845	Redevelopment of site for residential development comprising 142 units (12 houxes and 130 flats) together with open space for Sport and Recreation Use and associated infrastructure (Outline application - layout, scale and access).	DOV 12.08.11	Bowes	Southgate	304,000.00	Nonmonetary	5 years from the date of receipt	Affordable Housing (36 Units) Public Transport	Sarah Carter	HHAASC	Renewal - Council Homes	open space/parkland, which would require an amendment to the S106. Awaiting further details from DM Discussions are taking place to alter nature of the provision to provide more
Fairview New Homes	r/o Cherry Blossom Close and P/F by NCR BOWES TP/06/1845	Redevelopment of site for residential development comprising 142 units (12 houses and 130 flats) together with open space for Sport and Recreation Use and associated infrastructure (Outline application - layout, scale and access).	06.08.07 DOV 12.08.11	Bowes	Southgate	304,000.00	142,000.00		Public Iransport for the provision of public transport and highways facilities within the vicinity of the land Sports and Leisure Facility Land-	David Taylor	R&E	T&T	Discussions are taking place to alter nature of the provision to provide more open space/parkland, which would require an amendment to the S106. Awaiting further details from DM Discussions are taking place to alter nature of the provision to provide more
Fairview New Homes	r/o Cherry Blossom Close and P/F by NCR BOWES TP/06/1845	Redevelopment of site for residential development comprising 142 units (12 houses and 130 flats) together with open space for Sport and Recreation Use and associated infrastructure (Outline application - Layout, scale and access).	05.08.07 DOV 12.08.11	Bowes	Southgate	304,000.00	Non monetary	5 years from the date of receipt	Details of scheme for management, maintenance, ownership and use of sports facilities land	R&E		DM/PARKS	open space/parkland, which would require an amendment to the S106. Awaiting further details from DM
Fairview New Homes	r/o Cherry Blossom Close and P/F by NCR BOWES TP/06/1845	Redevelopment of site for residential development comprising 142 units (12 houses and 130 flats) together with open space for Sport and Recreation Use and associated infrastructure (Outline application - layout, scale and access).	06.08.07 DOV 12.08.11	Bowes	Southgate	304,000.00	Non monetary	5 years from the date of receipt	Public Access Route/Adjoining Land Access Routes Details to be submitted	R&E			Discussions are taking place to alter nature of the provision to provide more open space/parkland, which would require an amendment to the S106. Awaiting further details from DM
Southgate Auction Rooms. LTD, and Natwest Bank	65-67 High Street TP/09/1624	Redevelopment of site to provide a 3-storey block comprising of 3 retail units (AL use) at ground floor and 5 v 2 bod flast at first and second floor, with front and rear dommers, together with raised amenity area, off street parling and new access from 8	18.08.11	Southgate	Southgate	20,000.00	TBC by LBE	Within 5 years from the date of receipt of payment	Traffic Regulation Order Request & Contribution	Jonathon Goodson	R&E	T&T	All payments are due on commencement of development. Building Control Database checked, No details have been submitted to Development Management. Developer has been contacted for an update.

Southgate Auction Rooms. LTD, and Natwest Bank	65-67 High Street TP/09/1624	Redevelopment of site to provide a 3 story block comprising of 3 retail units (A1 use) at ground floor and 5 x 2 bed flats at first and second floor, with front and man floor, with front and man access from 8	18.08.11	Southgate	Southgate	20,000.00	20,000.00	Within 5 years from the date of receipt of payment	Highways Contribution to improve highways Contribution additional waiting restrictions, introduction of speed activated warning signs, contribution to green cycle routes and any other related highwaysafety measures	David Taylor	R&E	T&T	All payments are due on commencement of development. Building Control Database checked, No details have been submitted to Development Management. Developer has been contacted for an update.
ITL Mortgages	103 Camlet Way EN4 ONL TP/08/0647/REN1	Renewal of unimplemented permission granted under refr. TH/08/0647 for the demolition of existing building and subdivision of site and erection of two 6 bed 2 dotrey farst-bed dealing houses with a accommodation in roof tpace, domer windows together with side balcony and deathed dealer grant to Account end accounties of the accounti	27.03.12	Cockfosters	Southgate	32,288.55	30,751.00	NO DEADLINE	Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	All payments are due on commencement of development. Building Control Database checked, No details have been submitted to Development Management. Developer has been contacted for an update.
ITL Mortgages	103 Camlet Way EN4 ONL TP/08/0647/REN1	Renewal of unimplemented permission granted under ref. TPR(BR647 for the demolition of insting building and subdivision of site and erection of two 6-bed 2-storey detached dwelling houses with accommodation in roof space, domme windows together with side balcony and detached double grange to house one and construction of associated accesses.	27.03.12	Cockfosters	Southgate	32,288.55	1,537.55	NO DEADLINE	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	All payments are due on commencement of development. Building Control Database checked, No details have been submitted to Development Management. Developer has been contacted for an update.
Bank of Cyprus Ltd	69 Church Street London N9 9PY TP/11/0613	Demolition of existing bungalow and erection of a part 3, part 4-storey block of 8 self-contained flats (2 x 1-bed and 6 x 2-bed) with cycle parking, refuse storage, amenity space and front boundary wall.	29.03.12	Haselbury	Southgate	53,500.00	51,000.00	NO DEADLINE	Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	On completion of the sale of the sixth flat. Agent confirmed that works are scheduled to start in March 2013.
Bank of Cyprus Ltd	69 Church Street London N9 9PY TP/11/0613	Demolition of existing bungalow and erection of a part 3, part 4-storey block of 8 self-contained flats (2 x 1-bed and 6 x 2-bed) with cycle parking, refuse storage, amenity space and front boundary wall.	29.03.12	Haselbury	Southgate	53,500.00	2,500.00	NO DEADLINE	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	On completion of the sale of the sixth flat. Agent confirmed that works are scheduled to start in March 2013.
Arun & Linda Raichura	399a Green Lanes London N13 4TY P12- 01287PLA	Conversion of first and second floors to form $2 \times 1$ bed self contained flats involving rear dormer window.	16.01.13	Palmers Green	Southgate	634.19	603.99	NO DEADLINE	Education to provide additional educational facilities within the Borough required as a consequence of development	Keith Rowley	S&CS	EDU	Prior to commencement of development
Arun & Linda Raichura	399a Green Lanes London N13 4TY P12- 01287PLA	Conversion of first and second floors to form $2 \times 1$ bed self contained flats involving rear dormer window.	16.01.13	Palmers Green	Southgate	634.19	30.20	NO DEADLINE	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	PAID
Notting hill Housing Trust	59 Telford Road London N 11 2RH P12-00637PLA	Demolition of existing dwelling and erection of an end of terrace 4 bed single family dwelling with rooms in roof and rear dormer.	07.08.12	Southgate Green	Southgate	11,979.45	11,409.00	NO DEADLINE	Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	
Notting hill Housing Trust	59 Telford Road London N 11 2RH P12-00637PLA	Demolition of existing dwelling and erection of an end of terrace 4 bed single family dwelling with rooms in roof and rear dormer.	07.08.12	Southgate Green	Southgate	11,979.45	570.45	NO DEADLINE	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Due on commencement of development
Ramesh Nakranim Gordhan Nakrani and Gitendra Nakrani	32 The Limes Avenue, London N11 1RH	Demolition of existing dwelling and erection of 2 x 4-bed, 2-storey semi detached single family dwellings with rear dormer, off street parking and vehicular access to The Linnes.	08.04.13	Southgate Green		11,850.00	7,647.50	NO DEADLINE	Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	Received 2013/14
Ramesh Nakranim Gordhan Nakrani and Gitendra Nakrani	32 The Limes Avenue, London N11 1RH	Demolition of existing dwelling and erection of 2 x 4-bed, 2-storey semi detached single family dwellings with rear dormer, off street parking and vehicular access to The Limes.	08.04.13	Southgate Green		11,850.00	3,800.00	NO DEADLINE	Mayoral CL		TfL	TfL	Received 2013/14
Ramesh Nakranim Gordhan Nakrani and Gitendra Nakrani	32 The Limes Avenue, London N11 1RH	Demolition of existing dwelling and erection of 2 x 4-bed, 2-storey semi detached single family dwellings with rear dormer, off street parking and vehicular access to The Limes.	08.04.13	Southgate Green		11,850.00	402.50	NO DEADLINE	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Payment due on completion of \$106. RECEIVED
Chet Investments Ltd	80-84 Chase Side Road, London N14 SPH TP/09/0510	Conversion of upper floors to provide 9 self contained flats (3 x 3-bed, 3 x 2-bed, 1 x 1-bed and 2 x studios) involving construction of 3rd floor to front and roof terrace to rear.	30.04.13	Southgate		16,887.00	16,887.00	NO DEADLINE	Open Space Contribution towards improvements to amenity space within the vicinity	Matt Watts	R&E	PARKS	Payment due on commencement of development (to be index linked)
Pearl Property Limited	Land at Grove Close, Avenue Road, London N14 3N TP/11/1257	Erection of a part single, part 2-storey building at rear to provide 8 self-contained flats (5 x 2 bed), 3 x 3 bed) with lower ground floor car park, cycle parking and associated facilities and landscaping of courtyard together with formation of access ramp at main entrance to existing block.	01.10.12	Southgate		222,005.55	181,430.08	Dyears from the date of receipt	Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	No later than eighteen months from the commencement of development (to be index linked)
Pearl Property Limited	Land at Grove Close, Avenue Road, London N14 3N TP/11/1257	Erection of a part single, part 2-storey building at rear to provide 8 self-contained flats (5 x 2 bed, 3 x 3 bed) with lower ground floor car park, cycle parking and associated facilities and landscaping of courty-part together with formation of access ramp at main entrance to existing block.	01.10.12	Southgate		222,005.55	30,003.78	Dyears from the date of receipt	Education to provide additional educational facilities within the Borough	Keith Rowley	S&CS	EDU	No later than the occupation date (to be index linked)
Pearl Property Limited	Land at Grove Close, Avenue Road, London N14 3N TP/11/1257	Erection of a part single, part 2-storey building at rear to provide 8 self-contained flats (5 x 2 bed, 3 x 3 bed) with lower ground floor car park, cycle parking and associated facilities and landscaping of courtyand together with formation of access ramp at main entrance to existing	01.10.12	Southgate		222,005.55	10,571.69	D years from the date of receipt	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	to be paid on or before commencement of development (to be index linked)
Metro Bank PIc & Growfast Properties	1 Melbourne Avenue N13 45Y P13-00497PLA	Conversion of single family dwelling into 1x3 bed and 1x2 bed self contained flats involving demolition of outbuildings and side extension and erection of a single storey side extension, rear dommer and alterations to ground floor rear fenestration.	26.06.13	Bowes		1,947.75	1,855.00	NO DEADLINE	Education to provide additional educational facilities within the Borough	Keith Rowley	S&CS	EDU	On commencement of development (to be index linked)
Metro Bank PIc & Growfast Properties	1 Melbourne Avenue N13 45Y P13-00497PLA	Conversion of single family dwelling into 1x3 bed and 1x2 bed self contained flats involving demolition of outbuildings and side extension and erection of a single storey side extension, rear dormer and alterations to ground floor rear fenestration.	26.06.13	Bowes		1,947.75	92.75	NO DEADLINE	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	On commencement of development (to be index linked)
Hovespian Properties Limited Kypros Nicholas & Maria Nicholas	10 and 12 Old Park Road and garages adjacent to 41-51 Calshot Way P13-01268PLA	Redevelopment of site to provide 16 residential units in 2 x 3 storey block for aprising Block A 4 x 2-bed and 3 x 3-bed and Block B 5 x 3-bed and 4 x 2-bed saff contained flatt) with basement parking, access from Old park Read, terrace/plackonies to ground, first and second floors at front side and new and accommodation in not opscexe with othermer windows to fortunal new and unding demolition of esting granges and	06.08.13	Grange		315,500.50	241,681.07	Within 10 years of date of payment	Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	Prior to commencement 35% is due. Remaining 65% is due on completion of the sale of the 7th Market Housing Unit.
Hovespian Properties Limited Kypros Nicholas & Maria Nicholas	10 and 12 Old Park Road and garages adjacent to 41-51 Calshot Way P13-01268PLA	Redevelopment of site to provide 15 residential units in 2 x 3 better block is comprising Block. A 4 x 2 bed and 3 x 3 bed and Block B x 3 bed and 4 x 2 bed aff contained fluid; with basement parking, access from dig park Read, terrace(balconies to gound, first and second floors at front side and rear and accommodation in roof spaces with dommer windows to first and rear, including demolition of existing garages and 2 x 4 wellings.	06.08.13	Grange		315,500.50	tbc	Within 10 years of date of payment	Overage	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	On completion of the sale of the 16th Market Housing Unit . Owner to notify the Council on sale of the 7th, 13th and on sale of all housing units.
		Redevelopment of afte to provide 1 freedential units in 2 x 3 storey blocks (comprising Biock A 4 x 2, bed and Bick B 5 x 3 bed and Bic	06.08.13	Grange		315,500.50	56,295.60	Within 10 years of date of payment	Education to provide additional educational facilities within the Borough	Keith Rowley	S&CS	EDU	Prior to commencement of development
Hovespian Properties Limited Kypros Nicholas & Maria Nicholas	10 and 12 Old Park Road and garages adjacent to 41-51 Calshot Way P13-01268PLA	Redevelopment of tiete to provide 16 fresidential units in 2.4.3 storey blocks (comprising Biock A 4.4.2 bed and 3.4.8 bed and Bick B 5.5.4 bed and 4.2.2 bed store blackments parking cases from OH park A made transcrukshoorts be gound, first and second floors at from tide and rear and accommodation in root spaces with dommer windows to front and rear, including demolition of existing garages and 2.2 st devellings.	06.08.13	Grange		315,500.50	2,500.00	Within 10 years of date of payment	Waiting Restrictions towards the costs of the design and implementation of waiting restrictions on Calshot Way or within the vicinity of the vehicular access to the site as shown in the application.	David Taylor	R&E	T&T	Prior to commencement of development
Hovespian Properties Limited Kypros Nicholas & Maria Nicholas	10 and 12 Old Park Road and garages adjacent to 41-51 Calshot Way P13-01268PLA	Redevelopment of site to provide 16 misstemial units in 2.3 storey blocks (comprising Block A 4 2.0 ed and 3 3.3 bed and Block B 4 5.3 bed and 4 x 2 bed self contained flats) with basement parking, access from Oid park Road, terraces/baconies to gound, first and second floors at front side and accommodation in roof spaces with dommer windows to front and mar, including demolition of existing garages and	06.08.13	Grange		315,500.50	15,023.83		S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Prior to commencement
M Christoper Dunn & Sammi Harrison	110 Bush Hill London N21 2BS TP/11/0559	2 x owenings. Demolition of existing dwelling and subdivision of site, erection of 2 x 5-bed detached single family dwellings, 2 x vehicular access to front.	11.07.13	Grange		32,288.00	30,751.00	Within 15 years of date of payment	Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	Prior to commencement of development
M Christoper Dunn & Sammi Harrison	110 Bush Hill London N21 2BS TP/11/0559	Demolition of existing dwelling and subdivision of site, erection of 2 x 5-bed detached single family dwellings, 2 x vehicular access to front.	11.07.13	Grange		32,288.00	1,537.00	Within 15 years of date of payment	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Upon completion of the agreement
Banner Homes Central Limited & Barclays Bank pls & Clydesdale Bank plc	379 Cockfosters Road Barnet EN4 0JT P12- 01695PLA	Redevelopment of site to provide a part 2, part 3-storey block of 10 self contained flats (9 x 3-bed and 1 x 2-bed) with rooms in roof with dormer windows to all elevations, basement parking and access ramp and access to Cockdosters road.	11.10.13	Cockfosters		374,076.86	301,000.00		Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	Invoice sent 20/06/2016
Banner Homes Central Limited & Barclays Bank pls & Clydesdale Bank plc	379 Cockfosters Road Barnet EN4 OJT P12- 01695PLA	Redevelopment of site to provide a part 2, part 3-storey block of 10 self contained flats (9 x 3-bed and 1 x 2-bed) with rooms in roof with dormer windows to all elevations, basement parking and access ramp and access to Cockdosters road.	11.10.13	Cockfosters		374,076.85	TBC		Overage	Sarah Carter	HHAASC	Renewal - Council	If valuation date the net sales revenue exceeds the GDV threshold, to pay to the council within 28 days of the valuation date the affordable housing overage
Banner Homes Central Limited & Barclays Bank pls & Clydesdale Bank plc	379 Cockfosters Road Barnet EN4 0JT P12- 01695PLA	Redevelopment of site to provide a part 2, part 3-storey block of 10 self contained flats (9 x 3-bed and 1 x 2-bed) with rooms in roof with dormer windows to all elevations, basement parking and access ramp and access to Cockboters road.	11.10.13	Cockfosters		374,076.85	55,263.68		Education to provide additional educational facilities within the Borough	K. Rowley	S&CS	EDU	payment. Invoice sent 20/06/2016
Banner Homes Central Limited & Barclays Bank pls & Clydesdale Bank plc	379 Cockfosters Road Barnet EN4 0JT P12- 01695PLA	of time without to an elevation, basement parting and access ramp and access to Coccover four Redevelopment of site to provide a part 2, part 3-story block of 10 self contained flats (9 x 3-bed and 1 x 2-bed) with rooms in roof with domme windows to all elevations, basement parting and access ramp and access to Coccoders road.	11.10.13	Cockfosters		374,076.86	17,813.18		S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	PAID
Turhold Properties Limited	321A Bowes Road London P13-01704PLA	Demolition of existing building and exection of part single, part 3 storey block of 9 self contained flats comprising 3 x 1-bed, 4 x 2-bed and 2 x 3-bed with blockies to from an direct, solar panels to conc, parking at from and a sociated balandarang.	24.09.13	Southgate Green		72,024.92	45,371.86	No Deadline	Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield	Sarah Carter	HHAASC	Development & Estates Renewal - Council	Prior to commencement of development. INVOICE ISSUED
Turhold Properties Limited	321A Bowes Road London P13-01704PLA	Demolition of existing building and erection of part single, part 3-storey block of 9 self contained flats comprising 3 x 1-bed, 4 x 2-bed and 2 x 3-bed) with balconies to front and rear, solar panels to roof, parking at front and associated landscaping.	24.09.13	Southgate Green		72,024.92	23,051.81	No Deadline	required as a consequence of development Education to provide additional educational facilities within the Borough	K. Rowley	S&CS	EDU	Prior to commencement of development. INVOICE ISSUED
Turhold Properties Limited	321A Bowes Road London P13-01704PLA	Demolition of existing building and erection of part single, part 3-storey block of 9 self contained flats comprising 3 x 1-bed, 4 x 2-bed and 2 x 3-bed) with balconies to front and rear, solar panels to root, Janiferg at front and associated landscaping.	24.09.13	Southgate Green		72,024.92	3,601.25	No Deadline	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Due on completion
Emmanuel Akoeso, Gerard Mark Nolan,	29 Bramley Road, London, N14 4HDP13-3605PLA	3-bed) with balconies to front and rear, solar paness to roor, panung at front and associated landscaping. Monastery Class D1 to residential language school D2	31.10.14	Southgate		3,421.00	Non-monetary		Travel Plan	Anna Jakakca	R&E		Travel Plan to be submitted one month before Commencement of Development
Handisco Gianni	29 Bramley Road, London, N14 4HDP13-3605PLA	Monastery Class D1 to residential language school D2	31.10.14	Southgate		3,421.00	3,421.00		S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Payable on commencement of development
Taeman Kaya	4 Durants Road, Enfield P13-01519PLA	Erection of 3 bed bungalow	27.11.14	твс		34,698.26	26,138.00		Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield	Sarah Carter	HHAASC	Development & Estates Renewal - Council	
Taeman Kaya	4 Durants Road. Enfield P13-01519PLA	Erection of 3 bed bungalow	27.11.14	TBC		34.698.26	6.907.96		required as a consequence of development Education contributions	K. Rowley	S&CS	Homes	
Taeman Kaya	4 Durants Road, Enfield P13-01519PLA	Erection of 3 bed bungalow	27.11.14	TBC		34,698.26	1,652.30		S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING	
John Allin and Gay Watson	6 Tambank Enfield EN2 7JX, P14-01455PLA	Subdivision of site and erection of 2 x 2-storey. 4-bed single family dwellings with rear dormers and off street parking	31.10.14	Grange		42,036.77	28,626.04		Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield	Sarah Carter	HHAASC	AND DESIGN Development & Estates Renewal - Council	Prior to commencement of development
John Allin and Gay Watson	6 Tambank Enfield EN2 7JX, P14-01455PLA	Subdivision of site and erection of 2 x 2-storey, 4-bed angle family dwelling; with rear dormers and off street parking	31.10.14	Grange		42,036.77	11,408.98		required as a consequence of development Education	K. Rowley	sacs	Homes	Prior to commencement of development
John Allin and Gay Watson	6 Tambank Enfield EN2 7JX, P14-01455PLA	Subdivision of site and erection of 2 x 2-storey, 4-bed single family dwellings with rear domiers and on stores parking.	31.10.14	Grange		42,036.77	2.001.75		to provide additional educational facilities within the Borough \$106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING	Due on day of signing the undertaking
John Allin and Gay Watson Chancerweate (Aston) Ltd and Enfield Estate		assamment of site and executer of 2 x 2-storey, +-oed single family dwellings with rear dormers and off street parking								. read of 361VICE	ME	AND DESIGN	Due on day of signing the undertaking Payments of £7.500 and £46.000 were made oursuant to Sechule 3.4 and 3.5 of
Management Co. Ltd.	Lumina Park EN1 1FS P14-1734PLA Ridgeon Court, 75 Palmerston Road, Wood		04.11.14	Southbury		N/A	N/A		No further payment due Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield			Development & Estates	the Principal Agreement dated 18.05.2009
Dudrich Holdings and Rodger Ian Dudding	Green P14-00849PLA	Conversion of existing store to provide 1 x studio involving erection of single storey rear extension with fencing amenity space at front.	30.10.14	Palmers Green		42,643.81	36,901.20	No deadline	as a contribution to the provision of affordable housing in Enfield required as a consequence of development	Sarah Carter	HHAASC	Renewal - Council Homes	Upon commencement of development

Dudrich Holdings and Rodger lan Dudding	Ridgeon Court, 75 Palmerston Road, Wood Green P14-00849PLA	Conversion of existing store to provide 1 x studio involving erection of single storey rear extension with fencing amenity space at front.	30.10.14	Palmers Green	42,643.81	2,030.65	No deadline	S105 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Upon commencement of development
Dudrich Holdings and Rodger Ian Dudding	Ridgeon Court, 75 Palmerston Road, Wood Green P14-00849PLA	Conversion of existing store to provide 1 x studio involving erection of single storey rear extension with fencing amenity space at front.	30.10.14	Palmers Green	42,643.81	3,711.96	No deadline	Education to provide additional educational facilities within the Borough	Keith Rowley	S&CS	EDU	Upon commencement of development
Knan Aksu and Aylin Aksu	1 Harton Road, P14-00755PLA	Conversion of existing store to provide 1 x studio involving erection of single storey rear extension with fencing amenity space at front.	30.10.14	твс	25,362.03	21,965.00	No deadline	Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development	Sarah Carter	HHAASC	Development & Estates Renewal - Council	Received 05.07.2016
Knan Aksu and Aylin Aksu	1 Harton Road, P14-00755PLA	Conversion of existing store to provide 1 x studio involving erection of single storey rear extension with fencing amenity space at front.	30.10.14	твс	25,362.03	1,541.05	No deadline	required as a consequence or development S106 Monitoring Fee	Head of Service	R&E	Homes STRATEGIC PLANNING AND DESIGN	Received 05.07.2016
Knan Aksu and Aylin Aksu	1 Harton Road, P14-00755PLA	Conversion of existing store to provide 1 x studio involving erection of single storey rear extension with fencing amenity space at front.	30.10.14	TBC	25,362.03	1,855.98	No deadline	Education to provide additional educational facilities within the Borough	Keith Rowley	S&CS	EDU	Received 05.07.2016
Enoch Elijah Jehasophat Williams and Fiona Bartel-Ellis	Strathmore, Bloomfield Avenue P13-02487PLA	Conversion of existing store to provide 1 x studio involving erection of single storey rear extension with fencing amenity space at front.	16.10.14	TBC	Non-monetary	N/A	No deadline	Non-monetary (see notes)				See Clause 5 of agreement. Only Clause in S106 covers subletting, leasing or other disposal of the unit. No monitoring fee payable
Fairview New Homes (Cheques Way) Ltd	Cherry Blossom Close/Chequers Way N13 6HQ , P14-00271PLA	Conversion of existing store to provide 1 x studio involving erection of single storey rear extension with fencing amenity space at front.	26.09.14 DOV 18.05.2017	Palmers Green	395,009.52	93,570.90	Within 5 years of receiving payment	Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	Payable on or before first occupation of development
Fairview New Homes (Cheques Way) Ltd	Cherry Blossom Close/Chequers Way N13 6HQ , P14-00271PLA	Conversion of existing store to provide 1 x studio involving erection of single storey rear extension with fencing amenity space at front.	26.09.14 DOV 18.05.2017	Palmers Green	395,009.52	5,714.74	Within 5 years of receiving payment	Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Payable on or before commencement date
Fairview New Homes (Cheques Way) Ltd	Cherry Blossom Close/Chequers Way N13 6HQ , P14-00271PLA	Conversion of existing store to provide 1 x studio involving erection of single storey rear extension with fencing amenity space at front.	26.09.14 DOV 18.05.2017	Palmers Green	395,009.52	275,000.00	Within 5 years of receiving payment	Open Space Land Contribution	Matt Watts	R & E	PARKS	PAID - Ex gratia payment
Fairview New Homes (Cheques Way) Ltd	Cherry Blossom Close/Chequers Way N13 6HQ , P14-00271PLA	Conversion of existing store to provide 1 x studio involving erection of single storey rear extension with fencing amenity space at front.	26.09.14 DOV 18.05.2017	Palmers Green	395,009.52	20,723.88	Within 5 years of receiving payment	Education to provide additional educational facilities within the Borough	Keith Rowley	S&CS	EDU	Payable on or before commencement date
Huseyin Eren and Ismigul Eren	588 Hertford Road Enfield EN3 55X. P13- 00025PLA	Erection of 5 self-contained flats (2x1 bed, 2x2 bed, 1x3 bed) with balconies to frint and side	08.07.14	Turkey Street	18,595.50	17,710.00	No deadline	Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	Due on or prior to commencement date. Index-linked.
Huseyin Eren and Ismigul Eren	588 Hertford Road Enfield EN3 55X. P13- 00025PLA	Erection of 5 self-contained flats (2x1 bed, 2x2 bed, 1x3 bed) with balconies to frint and side	08.07.14	Turkey Street	18,595.50	885.50	No deadline	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Due on or prior to commencement date.
Rox Developments Ltd & Capital Land Ltd	Land at Freshfield Drive London N14 4PL P14/02291/FUL	Erection of 3 storey building, comprising 7 residential units	06.03.15	Bowes	124,482.22	112,533.55	No deadline	Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	Due on or prior to commencement
Rox Developments Ltd & Capital Land Ltd	Land at Freshfield Drive London N14 4PL P14/02291/FUL	Erection of 3 storey building, comprising 7 residential units	06.03.15	Bowes	124,482.22	4,662.00	No deadline	Greenway and Cycle Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development	David Taylor	R&E	T&T	Due on or prior to commencement
Rox Developments Ltd & Capital Land Ltd	Land at Freshfield Drive London N14 4PL P14/02291/FUL	Erection of 3 storey building, comprising 7 residential units	06.03.15	Bowes	124,482.22	7,286.67	No deadline	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Due on or prior to commencement
Evergreen Associates	55-57 Chase Side, London N 14 58U; P13- 03434PLA	Erection of 3rd floor to existing building, to provide 2 flats	27.02.15	TBC	50,946.59	44,808.60	No deadline	Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield	Sarah Carter	HHAASC	Development & Estates Renewal - Council	All obligations are due on or prior to commencement
Evergreen Associates	55-57 Chase Side, London N 14 5BU; P13- 03434PLA	Erection of 3rd floor to existing building, to provide 2 flats	27.02.15	TBC	50,946.59	3,711.96	No deadline	required as a consequence of development Education to provide additional educational facilities within the Borough	Keith Rowley	s&cs	EDU	All obligations are due on or prior to commencement
Evergreen Associates	05434PLA 55-57 Chase Side, London N 14 58U; P13- 03434PLA	Erection of 3rd floor to existing building, to provide 2 flats	27.02.15	TBC	50,946.59	2,426.03	No deadline	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING	All obligations are due on or prior to commencement
Secretary of State for Communities and Local	Relating to the development at Middlesex	Conversion of existing building to an eight form secondary academy with a 480 pupil sixth form	24.02.15	TBC	42.556.40	6.125.00	No deadline	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING	Due prior to commencement
Government Secretary of State for Communities and Local	University, Qwueensway, Enfield EN3 4SA Relating to the development at Middlesex						NO GENERAL				AND DESIGN	
Government Secretary of State for Communities and Local	University, Qwueensway, Enfield EN3 4SA Relating to the development at Middlesex	Conversion of existing building to an eight form secondary academy with a 480 pupil sixth form	24.02.15	TBC	42,556.40	33,000.00	No deadline	Sustainable transport contribution	Anna Jakakca Safiah Ishfan	R&E	T&T T&T	Due prior to commencement
Government	University, Qwueensway, Enfield EN3 4SA	Conversion of existing building to an eight form secondary academy with a 480 pupil sixth form	24.02.15	TBC	42,556.40	3,431.40	No deadline		Safiah ishfaq	R&E		Due in 3 installments as follows: Payment 1 (£205,043.41) is due on completion
Kyriacos Antoniou, Victoria Smith and Investec Bank	381 Cockfosters Road, Enfield EN4 0JS; P14- 02203PLA	Redevelopment of site and erection of a new block of 9 flats	09.03.15	Cockfosters	538,238.93	512,608.51	No deadline	Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield	Sarah Carter	HHAASC	Renewal - Council Homes	of sale or letting of the 2nd flat; Payment 2 (153,782.55) is due on completion of sale/letting of the 4th dwelling; Payment 3 (153,782.55) due on completion of sale/letting of 6th dwelling.
Kyriacos Antoniou, Victoria Smith and Investec Bank	02203PLA	Redevelopment of site and erection of a new block of 9 flats	09.03.15	Cockfosters	538,238.93	25,630.42	No deadline	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	
Telida Limited and Galveston Investments S.A	Truro House, 176 Green Lanes, N13 TP/08/2244	Restoration and repair of Truro House as a single family dwelling, conversion of Coach House to a single family dwelling involving demolition of existing workshop and external alterations, together with erection of a total of 25 residential units	02.09.14	Palmers Green	11,200.00	1,200.00	No deadline	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Invoice sent 21.04.15, money received 30.04.15
Telida Limited and Galveston Investments S.A	Truro House, 176 Green Lanes, N13 TP/08/2244	Restoration and repair of Truro House as a single family dwelling, conversion of Coach House to a single family dwelling involving demolition of existing workshop and external alterations, together with erection of a total of 25 residential units	02.09.14	Palmers Green	11,200.00	10,000.00	No deadline	Highways Contribution	David taylor	R&E	T&T	invoice sent 21.04.15, money received 30.04.15 and paid against CT0411
Peachwalk Properties Ltd	10 Park Road Edmonton N18 2UO; 14/02467/FUL	Erection of a four storey block comprising 18 self-contained flats (7 x 1-bed, 7 x 2-bed, 4 x 3-bed) with balconies, amenity area, associated access via Park Road and surface car parking.	29.05.15	Edmonton Green	115,291.00	55,613.00	No deadline	Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development	Sarah Carter	HHAASC	Development & Estates Renewal - Council	Due on or prior to commencement date
Peachwalk Properties Ltd	10 Park Road Edmonton N18 2UO; 14/02467/FUL	Erection of a four storey block comprising 18 self-contained flats (7 x 1-bed, 7 x 2-bed, 4 x 3-bed) with balconies, amenity area, associated access via Park Road and surface car parkine.	29.05.15	Edmonton Green	115,291.00	7,326.00	No deadline	Cycleways contribution	David Taylor	R&E	T&T	Due on or prior to commencement date
Peachwalk Properties Ltd	10 Park Road Edmonton N18 2UQ; 14/02467/FUL	Erection of a four storey block comprising 18 self contained flats (7 x 1-bed, 7 x 2-bed, 4 x 3-bed) with balconies, amenity area, associated access via Park Road and surface car parking.	29.05.15	Edmonton Green	115,291.00	44,852.00	No deadline	Education to provide additional educational facilities within the Borough	Keith Rowley	S&CS	EDU	Due on or prior to commencement date
Peachwalk Properties Ltd	10 Park Road Edmonton N18 2UO; 14/02457/FU	Erection of a four storey block comprising 18 self-contained flats (7 x 1-bed, 7 x 2-bed, 4 x 3-bed) with balconies, amenity area, associated access via Park Road and surface car parking.	29.05.15	Edmonton Green	115,291.00	7,500.00	No deadline	necessitated by the development Waiting and Loading Restriction Contribution	David Taylor	R&E	T&T	Due on or prior to commencement date
Michael William George Pearcy and Michael Edward Percy	797-799 Great Cambridge Road Enfield. P13 – 02887PLA	Subdivision of site and erection of 4 x 4- bed terraced single family dwellings with front arear dormers and balustrades to first floor rear, amenity space and boundary fencing with undercroft parking	20.05.15	Southbury	50,158.49	47,769.99	No deadline	Affordable Housing	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	50% due on or before commencement date (E23,885.00)
Michael William George Pearcy and Michael Edward Percy	797-799 Great Cambridge Road Enfield. P13 – 02887PLA	Subdivision of site and erection of 4 x 4-bed terraced single family dwellings with front and rear domers and balustrades to first floor rear, amenity space and boundary fencing with undercroft parking	20.05.15	Southbury	50,158.49	2,388.50	No deadline	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Due in full on or before commencement date.
Thomas Wren Homes Ltd (2) Thomas Wren and Margaret Wren (3) Barnett Waddingham Trustees (1980) Ltd	Woodcroft Sports Ground 14/04651/FUL	Conversion of existing store to provide 1 x studio involving erection of single storey rear extension with fencing amenity space at front.	02.06.15	Southbury	457,966.53	436,158.60		Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development	Sarah Carter	HHAASC	Development & Estate Renewal	Prior to commencement of development
Thomas Wren Homes Ltd (2) Thomas Wren and Margaret Wren (3) Barnett Waddingham Trustees (1980) Ltd	Woodcroft Sports Ground 14/04651/FUL	Conversion of existing store to provide 1 x studio involving erection of single storey rear extension with fencing amenity space at front.	02.06.15	Southbury	457,966.53	21,807.93		S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	
Tottenham Hotspur Academy (Enfield) Ltd	Myddleton Farm, Bulls Cross, Enfield EN2 9HE, 14/03915/FUL	Development to provide a 45-room player lodge with ancillary facilities in conjunction with the adjacent Tottenham Hotspur FC Training Centre	16.06.15	Chase	1,050,00	1,050.00		S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	
Wellingco Ltd, Emil and Robert Baruch		Conversion of care home to 8 self contained flats (2x4 bed, 3x2bed, 2x1bed and 1 studio), rear extension, 1 side dormer and rearrangement of forecourt to prolvde 5 parking spaces	14.08.2015	Bush Hill Park	91,884.95	55,712.08		Affordable Housing Contribution as a contribution to the provision of affordable housing in the Borough	Sarah Carter	HHAASC	Development & Estates Renewal - Council	All monies due on date of signing the \$106. Monitoring Fee paid. Invoice to be sent for remaining contributions
Wellingco Ltd, Emil and Robert Baruch	91 Wellington Road, Enfield EN1 2PW. P14- 01794PLA	Conversion of care home to 8 self contained flats: (24 bed, 3x2bed, 21 bled and 1 studio), rear extension, 1 side dommer and rearrangement of forecurst to prolived 5 parking spaces	14.08.2015	Bush Hill Park	91,884.95	4,375.00		of Enfield S106 Monitoring Fee	Head of Service	R&E	Homes STRATEGIC PLANNING AND DESIGN	All monies due on date of signing the S1D6. Monitoring Fee paid. Invoice to be sent for remaining contributions
Wellingco Ltd, Emil and Robert Baruch	91 Wellington Road, Enfield EN1 2PW. P14- 00794PLA	Conversion of care home to 8 self contained flats (2x4 bed, 3x2bed, 2x1bed and 1 sudio), rear extension, 1 side dormer and rearrangement of forecourt to onvide 5 sarding staces	14.08.2015	Bush Hill Park	91,884.95	30,297.87		Education to provide additional educational facilities within the Borough of	Keith Rowley	S&CS	EDU	All monies due on date of signing the \$106. Monitoring Fee paid.
Wellingco Ltd, Emil and Robert Baruch		Conversion of care home to 8 self contained flat: (24 bed, 3x2bed, 2 x1bed and 1 xudio), rear extension, 1 side dormer and rearrangement of forecourt to onvide 5 sarking scaces	14.08.2015	Bush Hill Park	91,884.95	1,500.00		Enfield Greenways contribution to be paid to the Council as a contribution to the provision of all	David Taylor	R&E	тат	All monies due on date of signing the \$106. Monitoring Fee paid.
PPR Central Maze LLP and M & D Entertainment	The Maze Public House 7 Chase Side London	Demolition of rear of public house, replacement with a four storey extension and alterations to provide an enlarged public house and 8 flats	27.08.2015	Southgate	3,996.00	3,996.00		planned Greenqay routes within 500m radius of the site Cycle Facilities	David Taylor	R&E	T&T	Due on or prior to commencement date
Ltd Origin Housing Ltd	N14 58P 14/04779/FUL 18 Brimsdown Avenue Enfield EN3 5HZ, 14/04854/FIII	(3x1 bed, 4X2 bed, and 1x3 bed) Redevelopment of site to provide a 3-storey block of 21 self contained flats (6 x 1-bed, 12 x 2-bed and 3 x 3-bed) with balconies to front and	23.09.2015	Brimsdown	64,165.86	520.00	No deadline	towards improvement of cycle facilities in the area Business and Employment Initiatives Contribution	Gavin Redman	R&E	BED	
Origin Housing Ltd	14/U4854/FUL 18 Brimsdown Avenue Enfield EN3 SHZ, 14/04854/FUL	rear Redevelopment of site to provide a 3-storey block of 21 self contained flats (6 x 1-bed, 12 x 2-bed and 3 x 3-bed) with balconies to front and	23.09.2015	Brimsdown	64,165.86	13,986.00	No deadline	Cycle Facilities Contribution	David taylor	R&E	T&T	Paid 5/2/16
Origin Housing Ltd	19 Reimedown Augeure Enfield EN2 EW7	rear Redevelopment of site to provide a 3-storey block of 21 self contained flats (5 x 1-bed, 12 x 2-bed and 3 x 3-bed) with balconies to front and rear	23.09.2015	Brimsdown	64,165.86	46,629.58	No deadline	Education Contribution	Keith Rowley	S&CS	EDU	Paid 5/2/16
Origin Housing Ltd	14/04854/FUL 18 Brimsdown Avenue Enfield EN3 5HZ, 14/04854/FUL	Redevelopment of site to provide a 3-storey block of 21 self contained fats (6 x 1-bed, 12 x 2-bed and 3 x 3-bed) with balconies to front and rear	23.09.2015	Brimsdown	64,165.86	Non-monetary	No deadline	Highway Works	Mick Pond	R&E	T&T	Highway works to be completed before occupation
Origin Housing Ltd	18 Brimsdown Avenue Enfield EN3 5HZ, 14/04854/FUL	Redevelopment of site to provide a 3-storey block of 21 self contained flats (6 x 1-bed, 12 x 2-bed and 3 x 3-bed) with balconies to front and rear	23.09.2015	Brimsdown	64,165.86	3,030.28	No deadline	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Paid to Legal 23 Sept 2015
Mong Ngar Liu and Albert Liu		Conversion of existing building and addition of 2nd floor extension with terrace area to provide 7 x flats (comprising 1 x 1-bed, 3 x 2-bed, and 3 x 3-bed),	28.09.2015	Edmonton	28,334.20	26,984.95		Affordable Housing	Sarah Carter	HHASC	Development and Estate Renewal	On or before first occupation
Mong Ngar Liu and Albert Liu	Spencer House Brettenham Road Edmonton N18 2EU; P13-00876PLA	Conversion of existing building and addition of 2nd floor extension with terrace area to provide 7 x flats (comprising 1 x 1-bed, 3 x 2-bed, and 3 x 3-bed),	28.09.2015	Edmonton	28,334.20	1,349.25		S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	On or before first occupation
Tzouvanni Properties Ltd	3A Chase Side, Southgate N14 5BP. 14/03710/FUL	Conversion of offices on first and second floors to 2 x 1-bed and 1 x studio flats	28.07.2015	Southgate	Non-monetary	Non-monetary		Parking permit restricitions	David taylor	R&E	T&T	Obligation satsified - developer called 23/10 and provided notice of occupation.
Dacol Ltd	Trent Boys School, 120 Cockfosters Road, Barnet EN4 0DZ, 14/04825/FUL	Construction of a two-storey building at the rear of the site for residential use (configured as two semi-detached houses) and associated parking layout, enclosure and landscaping	20.11.2015	Cockfosters	3,897.56	3,711.96		Education Contribution	Keith Rowley	S&CS	EDU	
Dacol Ltd	Trent Boys School, 120 Cockfosters Road, Barnet EN4 0DZ, 14/D4825/FUL	Construction of a two-storey building at the rear of the site for residential use (configured as two semi-detached houses) and associated parking layout, enclosure and landscaping	20.11.2015	Cockfosters	3,897.56	185.60		S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	

Contributions Developments Data and Data U.D.	2004-040-00-014-0-04-00-00-00-00-00-00-00-00-00-00-00-	Conversion of property into 4 self contained flats comprising 2 x1 bed and 2 x 2 bed involving single storey rear extension , extension to roof									Development and	
and Mark Silver	01668PLA	at side involving side dormer windows	05.09.2013	Southgate	37,016.42	34,045.75		Affordable Housing	Sarah Carter	HHASC	Estate Renewal	Due on or before commencement
and Mark Silver	01668PLA	Conversion of property into 4 self contained flats comprising 2 x1 bed and 2 x 2 bed involving single storey rear extension , extension to roof at side involving side dormer windows	05.09.2013	Southgate	37,016.42	1,207.98		Education Contribution	Keith Rowley	S&CS	EDU	Due on or before commencement
Castlehaven Developments, Betsy and Bella LLP and Mark Silver	240 A and B Chase Side, London N14 4PL P13- 01668PLA	Conversion of property into 4 self contained flats comprising 2 x1 bed and 2 x 2 bed involving single storey rear extension, extension to roof at side involving side dormer windows	05.09.2013	Southgate	37,016.42	1,762.69		S106 Monitoring Fee	Head of Service	R&E	Strategic Planning and Design	Due on date of signing \$106
Marios Shambouros, Nicholas Apostolou, Philip Apostolou and Peter Tessras	1 Queens Avenue London N21 3JE, 15/00703/FUL	conversion of part of existing building to form 5 kelf-contained flats (comprising 24.2 keld, 24.2 ked and 1x studio) including alterations to conversion of part of existing building to form 5 kelf-contained flats (comprising 24.2 keld, 24.2	07.01.2016	Southgate	3,846.85	2,997.00		Cycle Facility Improvements	David Taylor	R&E	T&T	Due on or prior to commencement
Marios Shambouros, Nicholas Apostolou, Philip	1 Queens Avenue London N21 3JE,	Conversion of part of existing building to form 5 self-contained flats (comprising 2x1-bed, 2x2-bed and 1x studio) including alterations to	07.01.2016	Southgate	3,846.85	849.85		S106 Monitoring Fee	Head of Service	R&E	Strategic Planning and	Due on date of undertaking
Apostolou and Peter Tessras David John Powley	15/00703/FUL The Oak, 144 Firs Lane, London N21 2PJ P12-	roof, creation of roof terrace and balcony and associated landscaping Demolition of former dwelling and construction of a detached single storey building to provide a Medical Centre.	12 01 2016	Southgate	30.700.00	30.000.00		Highways Contribution	David Taylor	R&F	Design T&T	
	02294PLA The Oak, 144 Firs Lane, London N21 2PJ P12-										181 Strategic Planning and	
David John Powley Connoisseur Developments Limited, Jane	02294PLA	Demolition of former dwelling and construction of a detached single storey building to provide a Medical Centre.	12.01.2016	Southgate	30,700.00	700.00		Monitoring Fee	Head of Service	R&E	Design	
Maitland, Antos and Christopher Koumis	16-18 Hazelwood Lane Palmers Green London N13 5EX	Erection of a part 2, part 3 storey block of 11 self contained residential units	03.12.2015	Palmers Green	50,341.00	37,028.04	No deadline	Affordable Housing	Sarah Carter	HHASC	Development and Estate Renewal	All due on date of undertaking. Payment received 7 Dec 2015
Connoisseur Developments Limited, Jane Maitland, Antos and Christopher Koumis	16-18 Hazelwood Lane Palmers Green London N13 5EX	Erection of a part 2, part 3 storey block of 11 self contained residential units	03.12.2015	Palmers Green	50,341.00	9,600.00	No deadline	Carbon Offset Contribution	Robert Singleton	R&E	DM	All due on date of undertaking. Payment received 7 Dec 2015
Connoisseur Developments Limited, Jane Maitland, Antos and Christopher Koumis	16-18 Hazelwood Lane Palmers Green London N13 SEX	Erection of a part 2, part 3 storey block of 11 self contained residential units	03.12.2015	Palmers Green	50,341.00	3,711.96	No deadline	Education	Keith Rowley	S&CS	EDU	All due on date of undertaking. Payment received 7 Dec 2015
Connoisseur Developments Limited, Jane	16-18 Hazelwood Lane Palmers Green London	Erection of a part 2, part 3 storey block of 11 self contained residential units	03.12.2015	Palmers Green	50,341.00	1.00	No deadline	Monitoring Fee	Head of Service	R&E	Strategic Planning &	
Maitland, Antos and Christopher Koumis Robert Gruszeczka and Joanna Gruszeczka	N 13 5EX 324 Alma Road Enfield EN 37R5 15/04485/FUL	Conversion of the existing house into 1 x3 -bed and 1 x 1-bed self contained flats including conversion of the existing garage to a habitable	25.01.2016	Ponders End	2,100.00	2,000.00	No deadline	Affordable Housing	Sarah Carter	HHASC	Design Development and	Due on or prior to completion of the agreement
		room Conversion of the existing house into 1 x3-bed and 1 x 1-bed self contained flats including conversion of the existing garage to a habitable					No deadime				Estate Renewal Strategic Planning &	
Robert Gruszeczka and Joanna Gruszeczka	324 Alma Road Enfield EN3 7RS 15/04485/FUL	room Demolition of 2 x existing dwellings, redevelopment of site to provide 1 x 3 storey 4-bed single family dwelling on plot 20 and erection of 2	25.01.2016	Ponders End	2,100.00	100.00	No deadline	Monitoring Fee	Head of Service	R&E	Design	Due on date of signing
G and F Phillippou, The Camlet Apts Limited, Yoeo Group and Hampshire Trust Bank	18-20 Camlet Way Barnet EN4 OLI 15/01615/FUL		16.02.2016	Cockfosters	354.513.43	310,000.00		Affordable Housing	Sarah Carter	HHASC	Development and Estate Renewal	Payment due in full on date of undertaking - awaiting cheque as of 16/02/16
G and F Phillippou, The Camlet Apts Limited,	18-20 Camlet Way Barnet EN4 0LI	communal amenity space Demolition of 2 x existing dwellings, redevelopment of site to provide 1 x 3 storey 4-bed single family dwelling on plot 20 and erection of 2										
Yogo Group and Hampshire Trust Bank	15/01615/FUL		16.02.2016	Cockfosters	354.513.43	27,631.84		Education Contribution	Keith Rowley	S&CS	EDU	Payment due in full on date of undertaking - awaiting cheque as of 16/02/16
G and F Phillippou, The Camlet Apts Limited,	18-20 Camlet Way Barnet EN4 OLI	communal amenity space Demolition of 2 x existing dwellings, redevelopment of site to provide 1 x 3 storey -bed single family dwelling on plot 20 and erection of 2 storey building to provide 5 flats (-bed) on plot 18 with accomdation in ground and first floors and roof space, basement parking and	16.02.2016	Cockfosters	354.513.43	16,881.59		Monitoring Fee	TBC	98.0	Strategic Planning &	Payment due in full on date of undertaking - awaiting cheque as of 16/02/16
Yogo Group and Hampshire Trust Bank	15/01615/FUL	storey dolloting to provide 5 mass (3-biol) on procease with accomposition in ground and inst hoors and root space, desement parking and communal amenity space	10.01.1010	Cockonaria	334.313.45	10,081.59		womoning ree	100	PORC.	Design	Payment doe in full on date of undertaking - awaring cheque as or 16/02/16
Long Acre Securities Ltd, Castle Lane Securities Ltd. British Telecommunications PLC and	Garages at Haslam Court, Waterfall Road,	Redevelopment of site to provide a part 2, part 3-storey block of 6 terraced houses comprising 3 x 2-bed and 3x3 bed units with roof terrace	27.11.2015	TBC	73.795.05	59.145.00		Affordable Housing	Sarah Carter	HHASC	Development and	Pavable on or prior to commencement
Telereal Securitised Property Trustee 1 Ltd	London N11 1NJ P12-02089PLA	involving demolition of existing garage block	27.11.2015	TBC	73,795.05	59,145.00		Attordable Housing	Sarah Carter	HHASL	Estate Renewal	Payable on or prior to commencement
Long Acre Securities Ltd. Castle Lane Securities												
Ltd, British Telecommunications PLC and Telereal Securitised Property Trustee 1 Ltd	Garages at Haslam Court, Waterfall Road, London N11 1NJ P12-02089PLA	Redevelopment of site to provide a part 2, part 3-storey block of 6 terraced houses comprising 3 x 2-bed and 3x3 bed units with roof terrace involving demolition of existing garage block	27.11.2015	TBC	73,795.05	11,136.00		Education Contribution	Keith Rowley	SCS	EDU	Payable on or prior to commencement
Long Acre Securities Ltd, Castle Lane Securities Ltd, British Telecommunications PLC and	Garages at Haslam Court, Waterfall Road, London N11 1NJ P12-02089PLA	Redevelopment of site to provide a part 2, part 3-storey block of 6 terraced houses comprising 3 x 2-bed and 3x3 bed units with roof terrace involving demolition of existing garage block	27.11.2015	TBC	73,795.05	3,514.05		S106 Monitoring Fee	TBC	R&E	Strategic Planning and Design	Payable on or prior to commencement
Telereal Securitised Property Trustee 1 Ltd	LONGON WITTING PIZ-GZORSPEN	involving demonston or existing ganage block										
Christopher Tzouvanni and Maroulla Tzouvanni	871 Green Lanes N21 2QS, 15/03026/FUL	Conversion of first floor into 2 x 1 bed flats.	22.01.2016	TBC	21,391.11	19,768.50		Affordable Housing	Sarah Carter	HHASC	Development and Estate Renewal	Payable on or prior to commencement
Christopher Tzouvanni and Maroulla Tzouvanni	871 Green Lanes N21 2QS, 15/03026/FUL	Conversion of first floor into 2 x 1 bed flats.	22.01.2016	TBC	21,391.11	1,018.62		S106 Monitoring Fee	TBC	R&E	Strategic Planning and Design	Payable on or prior to commencement
Christopher Tzouvanni and Maroulla Tzouvanni	871 Green Lanes N21 2Q5, 15/03026/FUL	Conversion of first floor into 2 x 1 bed flats.	22.01.2016	TBC	21,391.11	603.99		Education	Keith Rowley	SCS	EDU	Payable on or prior to commencement
		Variation to planning permission ref: TP/09/1624 dated 21/08/2011, for the following: 1. Reconfiguration of retail units so as to provide 2no										
Kuros Consultants and Eurobank Cyprus Ltd	65-75 High Street Southgate London N14 6LD P14-02243PLA	All/A2/BL units. 2. Formation new entrance and new staircase to serve upper level flats from the High Street. 3. Removal of new entrance and new staircases. 4. Reconfiguration of parking bays. 5. Increase height of amenity deck area. 6. Alterations to shop fronts. 7. Alterations to rear	2011, DoV 12.02.2	Southgate	20,000.00	20,000.00		Highway Works	Mick Pond	R&E	T&T	
	Ponders End Industrial Estate East Duck Lees	elevation at ground floor level Redevelopment of part of existing industrial estate involving demolition of existing units and erection of replacement industrial units										
Maizelands Ltd and Arringford Ltd	Lane Enfield EN3 7SP; P14-02066PLA	totalling approx. 31,552xqm of floor space for B1, B2 and B8 uses Redevelopment of part of existing industrial estate involving demolition of existing units and erection of replacement industrial units	10.03.2016	TBC	166,840.00	150,000.00		Bridge Contribution	Mick Pond	R&E	T&T	
Maizelands Ltd and Arringford Ltd	Ponders End Industrial Estate East Duck Lees Lane Enfield EN3 7SP; P14-02066PLA	totalling approx. 31.552spm of floor space for B1. B2 and B8 uses	10.03.2016	TBC	166,840.00	3,620.00		Master Travel Plan Monitoring Fee	David Taylior	R&E	T&T	
Maizelands Ltd and Arringford Ltd	Ponders End Industrial Estate East Duck Lees Lane Enfield EN3 7SP; P14-02066PLA	Redevelopment of part of existing industrial estate involving demolition of existing units and erection of replacement industrial units totalling approx. 31,552sqm of floor space for B1, B2 and B8 uses	10.03.2016	TBC	165,840.00	9,600.00		S106 Monitoring Fee	TBC	R&E	Strategic Planning and Design	PAID
Maizelands Ltd and Arringford Ltd	Ponders End Industrial Estate East Duck Lees Lane Enfield EN3 7SP; P14-02066PLA	Redevelopment of part of existing industrial estate involving demolition of existing units and erection of replacement industrial units totalling approx. 31,552sqm of floor space for B1, B2 and B8 uses	10.03.2016	TBC	166,840.00	3,620.00		Unit Travel Plan Monitoring Fee	David Taylor	R&E	T&T	
		Construction of 8 rolf contained meidential units (comprising 4 x 1 bed and 4 x 2 bed) involving demolition of part of wisting building at rear									Development & Estates	
Connaught Enterprises Ltd and Bank of Cyprus	70-72 Chase Side N14 5PA 14/05055/FUL	and erection of a part single, part 4-storey rear extension incorporating a lower ground floor parking area, balconies and sun terraces at first, second and third floor and a second and part third floor extension to existing building with balcony / terrace to third floor at front	09.03.2016	Southgate	84,247.68	71,000.00		Affordable Housing	Sarah Carter	HHAASC	Renewal - Council	On or before commencement
		Construction of 8 self contained residential units (comprising 4 x 1-bed and 4 x 2-bed) involving demolition of part of existing building at rear										
Connaught Enterprises Ltd and Bank of Cyprus	70-72 Chase Side N14 5PA 14/05055/FUL	and erection of a part single, part 4-storey rear extension incorporating a lower ground floor parking area, balconies and sun terraces at first,	09.03.2016	Southgate	84,247.68	4,011.79		S106 Monitoring Fee	твс	R&E	Strategic Planning and Design	On day of signing agreement
		second and third floor and a second and part third floor extension to existing building with balcony / terrace to third floor at front										
Connaught Enternrises I tri and Bank of Cynnis	20.72 Chase Side N14 5PA 14/05/055/FU	Construction of 8 self contained residential units (comprising 4 x 1-bed and 4 x 2-bed) involving demolition of part of existing building at rear	09.03.2016	Southgate	84 747 68	9 735 89		Education	Keith Rowley	SCS	FDI	on or before commencement
Community in a private and bank of Cypics	70-72 Clase 3 de 114-374 - 140-003/102	and erection of a part single, part 4-storey rear extension incorporating a lower ground floor parking area, balconies and sun terraces at first, second and third floor and a second and part third floor extension to existing building with balcony / terrace to third floor at front			64,247.00	5,235.05		Lactor			100	
Scheffrin Ltd	Site adjacent to 8 Baxter Road and rear of 34 Brettenham Road London N18 2EU	Redevelopment of site to provide a part single, part 2-storey terrace of 3 residential units comprising: 1 x 2-bed bungalow, 2 x 3-bed single	23.02.2016	Edmonton	67 877 13	48 977 99		Affordable Housing Contribution	Sarah Carter	ннаасс	Development & Estates Renewal - Council	
Schehnin Eta	15/04967/FUL	family dwellings with associated green roof, off street parking and detached cycle/refuse store	13.01.1010	Conton	67,877.13	46,972.99		Allordable Hodsing Contribution	Sanan Carton	mode	Homes	
Scheffrin Ltd	Site adjacent to 8 Baxter Road and rear of 34 Brettenham Road London N18 2EU	Redevelopment of site to provide a part single, part 2-storey terrace of 3 residential units comprising: 1 x 2-bed bungalow, 2 x 3-bed single family dwellings with associated green roof, off street parking and detached cycle/refuse store	23.02.2016	Edmonton	67,877.13	3,232.24		Monitoring Fee	TBC	R&E	Strategic Planning and	
	15/04967/FUL Site adjacent to 8 Baxter Road and rear of 34										Design	
Scheffrin Ltd	Brettenham Road London N18 2EU 15/04967/FUL	Redevelopment of site to provide a part single, part 2-storey terrace of 3 residential units comprising: 1 x 2-bed bungalow, 2 x 3-bed single family dwellings with associated green roof, off street parking and detached cycle/refuse store	23.02.2016	Edmonton	67,877.13	15,671.90		Education Contribution	Keith Rowley	SCS	EDU	
Stephen William Holland and Patricia Anne	15/0496//FUL 10 Chasewood Avenue EN2 8PT 15/02686/FUL	Subdivision of existing dwelling into 1 x 3 bed house and 1 x 4 bed maisonette	23.11.2015	TBC	7.253.35	6.907.96		Education Contribution	Keith Rowley	SCS	EDU	After serving notice of commencement
Holland Stephen William Holland and Patricia Anne									TBC	R&E	Strategic Planning and	
Holland	10 Chasewood Avenue EN2 8PT 15/02686/FUL	Subdivision of existing dwelling into 1 x 3 bed house and 1 x 4 bed maisonette	23.11.2015	TBC	7,253.35	345.39		S106 Monitoring Fee	1 BC	KSE	Design	On date of signing
		Redevelopment of rite to provide 7 v 2-bod 2-stores town houses with sup terrors to front and reas and off-street particle at front, part										
Greenlanes Investment LLP and Commercial	Former Green Dragon Pub, 889 Green Lanes	Redevelopment of site to provide 7 x 3-bed, 3-storey town houses with sun terraces to front and rear and off street parking at front, part single, part 2-storey rear and single storey side extension to extend a retail unit (A1) at ground floor with ancillary storage and staff facilities	31.03.2016	Grange	367.761.05	275.000.00		Affordable Housine Contribution	Sarah Carter	HHAASC	Development & Estates Renewal - Council	On or prior to commencement
Greenlanes Investment LLP and Commercial Acceptances Ltd	Former Green Dragon Pub, 889 Green Lanes London N21 2QP; 15/03316/FUL	single, part 2-storey rear and single storey side extension to extend a retail unit (A1) at ground floor with ancillary storage and staff facilities at first floor and 2 x 2-bed self contained flats at second floor, external staircase, vehicular accesses to Vicars Moor lane, car park at rear and associated plant and landrzanine	31.03.2016	Grange	367,761.06	275,000.00		Affordable Housing Contribution	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	On or prior to commencement
	London N21 2QP; 15/03316/FUL	single, part 2 story rear and ingle storey side extension to extend a retail unit (A) is ground floor with ancillary storage and staff facilities after floor and 2 storey rear and single storey side extension to extend a retain unit (A) is ground floor with ancillary storage and staff facilities in the store of the Redevelopment of the top provide a retain of the store of the sto								HHAASC	Homes	
Acceptances Ltd	London N21 2QP; 15/03316/FUL	single, par 2 atomy ror and single noting side elemenion to elemend a retail unit (1).13 ground floor with ancilary storage and staff Scillises in a final floor and 2.2 and in contrast final retain a social floor element and inclusions. Redevelopment of bits to provide 7.3 bed.2 and provide how the notice storage floor and off storet parking at floor, part single, part 2 atomy ror and single storage storage bloor bloor bloor bloor bloor bloor bloor bloor bloor bloor storage floor bloor blo	31.03.2016 31.03.2016	Grange Grange	367,761.06	275,000.00 3,620.00		Affondable Housing Contribution	Sarah Carter David Taylor	HHAASC R&E	Development & Estates Renewal - Council Homes T&T	On or prior to commencement
Acceptances Ltd Greenlanes Investment LLP and Commercial Acceptances Ltd	London N21 2QP; 15/03316/FUL Former Green Dragon Pub, 889 Green Lanes London N21 2QP; 15/03316/FUL	single, and 2 abony year and single storey side extension to extend a retail unit (k1) aground floor with a scalary alonge and staff facilities that floor and 2 a lower year and single stores that ever and saccostrate global and and an extension of the store and								HHAASC R&E	Homes	
Acceptances Ltd	London N21 2QP; 15/03316/FUL Former Green Dragon Pub, 889 Green Lanes London N21 2QP; 15/03316/FUL Former Green Dragon Pub, 889 Green Lanes	single, par 2 deep rear and single torony side extension to extend a retail unit ((k)) a ground floor with a scalary atorga and all facilities within the own ar 2 - 2 deep rear and single torony side extension. The scalar and the scalar atorga and all facilities and the the own are 2 - 2 deep rear and single torony side torony side torony. The scalar atorga and a facilities at first floor and 2 - 2 deep rear and single torony side torony side torony. The scalar atorga and a facilities at first floor and 2 - 2 deep rear and single torony side torony. The scalar atorga and affactities at first floor and 2 - 2 deep rear and single torony side torony. The scalar atorga and affactities at first floor and 2 - 2 dee unit of catalet first at scace floor, external staticase, which are accesses to Vican Mode Tan, exp at a treat and scalar atorga and a scalar atorga atorga deep rear atorga deep reare atorga deep rear atorga deep rear atorga deep re								HHAASC R&E SCS	Homes	
Acceptances Ltd Greenlanes Investment LLP and Commercial Acceptances Ltd Greenlanes Investment LLP and Commercial	London N21 2QP; 15/03316/FUL Former Green Dragon Pub, 889 Green Lanes London N21 2QP; 15/03316/FUL	uingle, par 2 along rear and uingle totopy side eleminonis to elementia a retain (14) along yound floor with a scaling strategies and all facilities interfines that a 12 along rear and uingle totopy side eleminonis to elementia and the strategies and the strate and secondard elementia and the strategies and the st	31.03.2016		367,761.06	3,620.00					Homes T&T	On or prior to commencement
Acceptances Ltd Greenlanes Investment LLP and Commercial Acceptances Ltd Greenlanes Investment LLP and Commercial Acceptances	London N21 20P; 15/03316/FUk Former Green Dragon Pub, 889 Green Lanes London N21 20P; 15/03316/FUk Former Green Dragon Pub, 889 Green Lanes London N21 20P; 15/03316/FUk	uingle, par 2 and your part and unique constraints and an establish of the second of the second part of the	31.03.2016		367,761.06	3,620.00					Homes T&T	On or prior to commencement
Acceptances Ltd Greenlanes Investment LLP and Commercial Acceptances Ltd Greenlanes Investment LLP and Commercial Acceptances Ltd	London N21 2QP; 15/03316/FUL Former Green Dragon Pub, 889 Green Lanes London N21 2QP; 15/03316/FUL Former Green Dragon Pub, 889 Green Lanes London N21 2QP; 15/03316/FUL	single, par 2 along year and single torony side extension to extend a retail unit ((A)) a ground floor with a scalary alonge and all facilities within floor and 2.2 along year and single torony side extension floor, setting alonge, which are strated a retain and Redevelopment of the to provide 7.3 bed, 3 clearly town house with an terraces floor tard frar and of traver and and facilities and floor and 2.2 along retain digital digital alonge and the strategies and the strategies and the strategies and the strategies and along the strategies and strategies and the strategies and the strategies and the strategies and the strategies and along the strategies and the strategies and the strategies and the strategies and the strategies and along the strategies and the strategies and the strategies and the strategies and the strategies and along the strategies and the strategies and the strategies and the strategies and the strategies and along the strategies and the	31.03.2016 31.03.2016	Grange Grange	367,761.05	3,620.00 52,067.68		Travel Plan Monitoring Fee Education Contribution	David Taylor Keith Rowley	SCS	Homes T&T EDU	On or prior to commencement
Acceptances Ltd Greenlanes Investment LLP and Commercial Acceptances Ltd Greenlanes Investment LLP and Commercial Acceptances	London N22 207, 15/03136/R4 Pormer Green Dragon Pub, 889 Green Lanes London N22 207, 15/0314/R4 Former Green Dragon Pub, 899 Green Lanes London N22 207, 15/0316/R4 Former Green Dragon Pub, 889 Green Lanes	<ul> <li>uingle, par 2 alsony retra ad uingle totory sube extension to extend a retail unit ((a)) is ground floor with a scalary advance and a retail and (b).</li> <li>Bedreinghenet of also is provide 7 a bed, 3 clearly totor houses with an utervasts to floor and retar and off advectory advance and retails and relative advance and retains and relative advance advance and retains and relative advance adv</li></ul>	31.03.2016 31.03.2016 31.03.2016	Grange Grange Grange	367,761.06 367,761.05 367,761.05	3,620.00 52,067.68 17,073.38		Travel Plan Monitoring Fee Education Contribution Munitoring Fee	David Taylor Keith Rowley TBC	SCS R&E	Homes T&T EDU Strategic Planning and Design	On or prior to commencement On or prior to commencement Due on date of depine (11/2/16)
Acceptances Ltd Greenlanes investment LLP and Commercial Acceptances Ltd Greenlanes investment LLP and Commercial Acceptances Ltd Greenlanes investment LLP and Commercial Acceptances Ltd	London N21 209, 15,03316,FUL Former Green Dragon Pub, 189 Green Lanes London N21 209, 15,03316,FUL Former Green Dragon Pub, 189 Green Lanes London N21 209, 15,03316,FUL Former Green Dragon Pub, 189 Green Lanes London N21 209, 15,03316,FUL	uingle, par 2 alowy rear and uingle torony side extension to extend a retail unit ((k)) argument floor with a scalary storage and all facilities in the floor into alow 2 alow rear and uingle torony side extension. Next extent and the scalary storage and all facilities and the floor into alow 2 alow rear and uingle torony side extension. Next extent and the scalary storage and all facilities and the scalary storage and side torony side extension to extend a retail unit ((k)) argument floor into and rear and of there are alow all facilities at the scalary storage and side torony side extension to extend a retain unit ((k)) argument floor into and rear and of there are alow all facilities at the floor and a 2 a block unit of scalary torons houses with an tercess to floor into the scalary storage and at facilities at the floor and a 2 a block unit of scalary torons houses with an tercess to floor into the scalary storage and a stream storage. The scalary storage is the scalary storage is the scalary storage and a stream and a scalar and a scalar storage is the scalary storage and a stream storage and a 2 a block unit of scalary torony side extension to extend a retain unit ((k)) argument floor with an acting storage and starf facilities at the floor and 2 a block unit of scalar that a stream and the scalary storage and starf facilities at the floor and a 2 a block unit of scalar that a stream and the scalar storage and starf facilities at floor floor and a 2 a block unit of scalar that scalar storage and starf facilities at floor and a 2 a block unit of scalar that scalar storage storage storage and starf facilities at floor and a 2 a block unit of scalar that scalar storage storage storage and at float the scalar floor and a 2 a block unit of scalar storage storage storage storage storage and at float the scalar float scalar and a star ad scalar float the scalar storage storage storage and at float the scalar float scalar and a scalar storage and scalar storage storage storage storage and at float	31.03.2016 31.03.2016	Grange Grange	367,761.05	3,620.00 52,067.68		Travel Plan Monitoring Fee Education Contribution	David Taylor Keith Rowley	SCS	Homes T&T EDU	On or prior to commencement
Acceptances Ltd Greenlances Investment LLP and Commercial Acceptances LLB Greenlances Investment LLP and Commercial Acceptances LLB Greenlances Investment LLB and Commercial Acceptances LLB	London N23 2Q7; 15/03316/RJL Former Grean Dagaon Jul, 80 Ocean Lanes London N23 2Q7; 15/03316/RJL Former Grean Dagaon Jul, 88 Ocean Lanes London N23 2Q7; 15/03316/RJL Former Grean Dagaon Jul, 88 Ocean Lanes London N23 2Q7; 15/03316/RJL Former Grean Dagaon Jul, 88 Ocean Lanes London N23 2Q7; 15/03316/RJL	<ul> <li>Lingle, par 2. Jowy retra ad using knows with sensitive shows with an utriviate site provide to a with a scalary adjust and the Sulfield and the S</li></ul>	31.03.2016 31.03.2016 31.03.2016 31.03.2016	Grange Grange Grange Grange	367,761.05 367,761.05 367,761.05	3,620.00 52,067.68 17,073.38 20,000.00		Travel Plan Monitoring Fee Education Contribution Monitoring Fee C72 contribution	David Taylor Keith Rowley TBC David Taylor	SCS R&E R&E	Homes T&T EDU Strategic Planning and Design T&T	On or prior to commencement On or prior to commencement Due on date of signing (11/1/14) On or prior to first occupation of the retail unit
Acceptances Ltd Greenlanes investment LLP and Commercial Acceptances Ltd Greenlanes investment LLP and Commercial Acceptances Ltd Greenlanes investment LLP and Commercial Acceptances Ltd	London 1123 2021 SU/33146/RU. Formar fores Dagos No. 889 Goren Laive London 1023 2027 SU/33146/RU. Formar Green Dagos No. 889 Goren Laive London 1023 2027 SU/33146/RU. Formar Green Dagos No. 899 Goren Laive London 1023 2027 SU/33146/RU.	<ul> <li>Lingle, par 2 along rear and single charge detention in to send a retain (14) along round for with a scalary storage and all Pacifies of the foreign of the sport of the sport</li></ul>	31.03.2016 31.03.2016 31.03.2016	Grange Grange Grange	367,761.06 367,761.05 367,761.05	3,620.00 52,067.68 17,073.38		Travel Plan Monitoring Fee Education Contribution Munitoring Fee	David Taylor Keith Rowley TBC	SCS R&E	Homes T&T EDU Strategic Planning and Design	On or prior to commencement On or prior to commencement Due on date of depine (11/2/16)
Acceptances Ltd Greenlanes investment LLP and Commercial Acceptances Ltd Kenninghali Holdings Ltd and Tower Transit	London N21 207, 15/0316/FU Former Greine Dagan Hol, 880 Green Lanes London N21 207, 15/0316/FU Somer Green Dagan Hol, 880 Green Lanes London N21 207, 15/0316/FU Former Green Dagan Hol, 880 Green Lanes London N21 207, 15/0316/FU Former Green Dagan Hol, 880 Green Lanes London N21 207, 15/0316/FU London N21 207, 15/0316/FU London N21 207, 15/0316/FU	Lingle, par 2 abovy retra ad unique totory side extension to extend a retail unit (k1) aground foor with a scalary storage and ad Pacifies (k1) and k1 and k2) abovy retain ad unique totory side extension flow, estend a startage, which increases to them totors More line, can part at retar and adding, par 2 abovy retain display totory dise advection to extend a retain (k1) at ground foor with an acting storage and aff facilities at first flow and 2.2 above retain storage with an terraces to flow at storage with an extension and adding, par 2 abovy retain display totory dise bacterial taticase, which are cannot with an acting storage and aff facilities at first flow and 2.2 above and independing dise and parts and storage totory. The storage with an extension to extend a retain and parts are and adding totory dise detection to extend a retain (k1) at ground flow with an adding storage and a term and an adding, par 2 abovy retain and distart at stored flow, extended in the storage with a storage of the storage of the storage and adding and 2.2 above retain adding totory dise detection to extend a retain (k1) at ground flow with an adding storage and start facilities at first flow and 2.2 above retain adding totory dise detection to the storage retain at the storage of the stor	31.03.2016 31.03.2016 31.03.2016 31.03.2016	Grange Grange Grange Grange	367,761.05 367,761.05 367,761.05	3,620.00 52,067.68 17,073.38 20,000.00		Travel Flan Monitoring Fee Education Contribution Monitoring Fee CP2 contribution Travel Flan Monitoring Fee	David Taylor Keith Rowley TBC David Taylor	SCS R&E R&E	Homes T&T EDU Strategic Planning and Design T&T	On or prior to commencement On or prior to commencement Due on date of signing (11/)(/16) On or prior to first occupation of the retail unit
Acceptances LLB Greenlands Investment LLP and Commercial Acceptances LLB Greenlands Investment LLP Greenlands Internation Greenlands Investment LLP Greenlands Internation Greenlands Internation Greenlands Internation Greenlands Green	London 121 207, 15(0316/F4) Former Green Dagon Auß, 880 Genen Lanes London 121 207, 15(0316/F4) Former Green Dagon Auß, 880 Genen Lanes London 121 207, 15(0318/F4) Former Green Dagon Auß, 880 Genen Lanes London 121 207, 15(0318/F4) 41 Pacter Lanes London F40 205, F4(012738/FA) 41 Pacter Lanes Lones Mod S05, F4(012738/FA)	<ul> <li>uingle, par 2 alowy retra ad uingle totory side extension to extend a retrait on ((A) is ground for with a scalary drage and ad Pacifies and the scalary drage and a scalar drage and a scalar</li></ul>	31.03.2016 31.03.2016 31.03.2016 31.03.2016 04.04.2016	Grange Grange Grange Grange Edmonton	367,761.05 367,761.05 367,761.05 367,761.05 367,761.05	3,620.00 52,067.68 17,073.38 20,000.00 3,431.00		Travel Plan Monitoring Fee Education Contribution Monitoring Fee C72 contribution	David Taylor Keith Rowley TBC David Taylor David Taylor	SCS R&E R&E R&E	Homes T&T EDU Strategic Planning and Design T&T T&T T&T	On or prior to commencement On or prior to commencement Due on date of signing (B1/Q1B) On or prior to first occupation of the retail unit Due on date of signing (R4/V1B) Phor to commencement of development
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Acceptances Ltd Greenlanes Investment LLP and Commercial Acceptances LL2 Greenlanes Investment LLP and Commercial Acceptances LL2 Greenlanes Investment LLP and Commercial Acceptances Ltd Greenlanes Investment LLP and Commercial Commercia	London 123 207, 15,03316/RJ. Former Green Dagon Auß, 880 Genen Lanes London 123 207, 15,03316/RJ. Former Green Dagon Auß, 880 Genen Lanes London 123 207, 15,03316/RJ. Former Green Dagon Auß, 880 Genen Lanes London 123 207, 15,03316/RJ. Former Green Dagon Auß, 880 Genen Lanes London 123 207, 15,03316/RJ. 41 Architta Los London 19 Dols, 14,063733/RJA 41 Pachtta Los Lune London 19 Dols, 14,063733/RJA	<ul> <li>and part and any action yeaks extension to extendia antial unit (A1) argues of too with a scalary storage and all facilities in the other action of the port of t</li></ul>	31.03.2016 31.03.2016 31.03.2016 04.04.2016 04.04.2016 04.04.2016	Grange Grange Grange Edmonton Edmonton	367761.05 367761.05 367761.05 367761.05 24,302.55 24,302.55	3,620.00 52,067.68 17,073.38 20,000.00 3,431.00 18,000.00 2,871.55		Travel Plan Monitoring Fee Education Contribution Monitoring Fee CV2 contribution Travel Plan Monitoring Fee Highways contribution Monitoring Fee	David Taylor Keith Rowley TBC David Taylor David Taylor David Taylor TBC	SCS R&E R&E R&E R&E	Homes T&T EDU EDU Strategic Flamming and Design T&T T&T T&T Strategic Flamming and Design Design	On or prior to commencement On or prior to commencement Due on date of signing (B1/Q1B) On or prior to first occupation of the retail unit Due on date of signing (R4/V1B) Phor to commencement of development
Acceptances Ltd Greenlanes Investment LLP and Commercial Acceptances LLD Greenlanes Investment LLP and Commercial Acceptances LLD Greenlanes Investment LLP and Commercial Acceptances Ltd Greenlanes Investment LLP and Commercial Acceptances Ltd Greenlanes Investment LLP and Commercial Acceptances Ltd A	London 121 207, 15,03316/RJL Formar Green Dagon Aub, 880 Green Lanes London 121 207, 15,03316/RJL Formar Green Dagon Aub, 880 Green Lanes London 121 207, 15,03316/RJL Formar Green Dagon Aub, 880 Green Lanes London 121 207, 15,03316/RJL Formar Green Dagon Aub, 880 Green Lanes London 121 207, 15,03316/RJL 41 Pactas Lock Lane London 100 Aub, Pack01232/RJL 41 Pactas Lock Lane London 100 Aub, Pack01232/RJL 41 Pactas Lock Lane London 100 Aub, Pack01237/RJL 41 Pactas Lock Lane London 100 Aub, Pack01237/RJL 42 Packas Lock Lane London 100 Aub, Pack01237/RJL 43 Packas Lock Lane London 100 Aub, Pack01237/RJL	<ul> <li>Lange and the second sec</li></ul>	31.03.2016 31.03.2016 31.03.2016 31.03.2016 04.04.2016 04.04.2016	Grange Grange Grange Grange Edmonton	367,761.05 367,761.05 367,761.05 367,761.05 34,302.55 34,302.55	3,620.00 52,067.68 17,073.38 20,000.00 3,431.00 18,000.00		Travel Plan Monitoring Fee Education Contribution Monitoring Fee CY2 contribution Travel Plan Monitoring Fee Highways contribution	David Taylor Keith Rowley TBC David Taylor David Taylor David Taylor	SCS R&E R&E R&E R&E	Homes T&T EOU Strategic Planning and Development & Estates Beneval: Council Development & Bitter	On or prior to commencement On or prior to commencement Due on date of signing (B1/Q1B) On or prior to first occupation of the retail unit Due on date of signing (R4/V1B) Phor to commencement of development
Acceptances Ltd Greenlanes Investment LLP and Commercial Acceptances LL2 Greenlanes Investment LLP and Commercial Acceptances LL2 Greenlanes Investment LLP and Commercial Acceptances Ltd Greenlanes Investment LLP and Commercial Commercia	London N22 2021 SU/3316/PUL Format Freim Daggion Mol. 889 Gorean Lanes London N22 2027 SU/501316/PUL Format Freim Daggion Mol. 889 Gorean Lanes London N22 2027 SU/501316/PUL Format Freim Daggion Mol. 889 Gorean Lanes London N22 2027 SU/501316/PUL Format Forma Daggion Mol. 889 Gorean Lanes London N22 2027 SU/501316/PUL 410 Puter Lanes Long Lanes Long Mol Mol Su/ Puter SU/2027 JUL 410 Puter Lanes Long Long Mol Mol Su/ Puter SU/2027 JUL 410 Puter Lanes Long Long Mol Mol Su/ Puter SU/2027 JUL 410 Puter Lanes Long Long Mol Mol Su/ Puter SU/2027 JUL 410 Puter Lanes Long Long Mol Mol Su/ Puter SU/2027 JUL 410 Puter Lanes Long Long Mol Mol Su/ Puter SU/2027 JUL 410 Puter Lanes Long Long Long Long Long Long Long Long	<ul> <li>and part and any action yeaks extension to extendia antial unit (A1) argues of too with a scalary storage and all facilities in the other action of the port of t</li></ul>	31.03.2016 31.03.2016 31.03.2016 31.03.2016 04.04.2016 04.04.2016 04.04.2016 14.04.2016	Grange Grange Grange Edmonton Edmonton	367761.05 367761.05 367761.05 367761.05 24,302.55 24,302.55	3,620.00 52,067.68 17,073.38 20,000.00 3,431.00 18,000.00 2,871.55		Travel Plan Monitoring Fee Education Contribution Monitoring Fee CV2 contribution Travel Plan Monitoring Fee Highways contribution Monitoring Fee	David Taylor Keith Rowley TBC David Taylor David Taylor David Taylor TBC	SCS R&E R&E R&E R&E	Homes T&T EDU EDU Strategic Flamming and Design T&T T&T T&T Strategic Flamming and Design Design	On or prior to commencement On or prior to commencement Due on date of signing (11/2/AB) On or prior rts first occupation of the retail unit Due on date of signing (A/4/16) Prior te commencement of development
Acaptances LLB Greenlands Investment LLP and Communical Acoptances LLB Greenlands Investment LLP and Communicat Acoptances LLB Greenlands Investment LLB Greenlands Investment LLB Greenlands Internatio Greenland	London 121 207, 15,03316/RJL Formar Green Dagon Aub, 880 Green Lanes London 121 207, 15,03316/RJL Formar Green Dagon Aub, 880 Green Lanes London 121 207, 15,03316/RJL Formar Green Dagon Aub, 880 Green Lanes London 121 207, 15,03316/RJL Formar Green Dagon Aub, 880 Green Lanes London 121 207, 15,03316/RJL 41 Pactas Lock Lane London 100 Aub, Pack01332/RJL 41 Pactas Lock Lane London 100 Aub, Pack01337/RJL 41 Pactas Lock Lane London 100 Aub, Pack01337/RJL	<ul> <li>a they is a show years and single story subs extension is nearboard a retail unit (a) is ground from with a scalary storage and call facility stores and the store and</li></ul>	31.03.2016 31.03.2016 31.03.2016 31.03.2016 04.04.2016 04.04.2016 04.04.2016 14.04.2016	Grange Grange Grange Edmonton Edmonton TBC	367,761.05 367,761.05 367,761.05 367,761.05 34,302.55 34,302.55 34,302.55 7,038.00	3,620.00 52,067.68 17,073.38 20,000.00 3,431.00 18,000.00 2,071.55 6,096.98		Travel Plan Monitoring Fee Education Centribution Monitoring Fee CP2 contribution Travel Plan Monitoring Fee Highways contribution Monitoring Fee Afbortable Housing contribution	David Taylor Keith Rowley TBC David Taylor David Taylor David Taylor TBC Sarah Carter	SCS R&E R&E R&E R&E HHAASC	Homes T&T EOU Strategic Planning and Development & Estates Beneval: Council Development & Bitter	On or prior to commencement On or prior to commencement Due on date of signing (B1/Q1B) On or prior to first occupation of the retail unit Due on date of signing (R4/V1B) Phor to commencement of development

Huseyin Eren and Ismigul Eren	329 Fore Street London N9 0PD 15/04235/FUL	Conversion of 1st and 2nd floors into 2 x 1 bed self-contained flats	11.04.2016	Edmonton	19,084.79	17,572.00		Affordable Housing	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	Due on or before commencement
Huseyin Eren and Ismigul Eren	329 Fore Street London N9 0PD 15/04235/FUL	Conversion of 1st and 2nd floors into 2 x 1 bed self-contained flats	11.04.2016	Edmonton	19,084.79	603.99		Education	Keith Rowley	SCS	EDU	Due on or prior to occupation of development
Huseyin Eren and Ismigul Eren	329 Fore Street London N9 0PD 15/04235/FUL	Conversion of 1st and 2nd floors into 2 x 1 bed self-contained flats	11.04.2016	Edmonton	19,084.79	908.80		S106 Monitoring Fee	TBC	R&E	Strategic Planning and Design	Due on date of signing the 106
J Murphy & Sons Ltd	Relating to land at Morson Road Enfield EN3 4NO 15/03676/FUL	Erection of a detached building to provide workshops, stores and offices for plant hire company with staff, customer and lorry parking facilities.	21.04.2016	TBC	350.00	350.00		S106 Monitoring Fee	TBC	R&E	Strategic Planning and Design	
J Murphy & Sons Ltd	Relating to land at Morson Road Enfield EN3 4NQ 15/03676/FUL	Erection of a detached building to provide workshops, stores and offices for plant hire company with staff, customer and lorry parking facilities.	21.04.2016	TBC	350.00	TBC		Business and Employment Initiative Contribution	Gavin Redman	R&E	BED	Set at £520 x the number of weeks for which no no-site training was provided from commencement to practical completion
LLP Investments & Alpha Bank Ltd	203-205 Green Lanes N13 4UH 15/02143/FUL	Demolition of existing building, erection of 3 storey building incorporating office/letting agent use at ground floor and 4 self contained flats (2x2bed and 2x1bed) at first and second floors, widening of vehicle access, 3 x off street parking spaces at rear	29.03.2016	Palmers Green	72,330,00	63,965.77	No deadline	Affordable Housing	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	
LLP Investments & Alpha Bank Ltd	203-205 Green Lanes N13 4UH 15/02143/FUL	Demolition of existing building, erection of 3 storey building incorporating office/letting agent use at ground floor and 4 self contained flats (2x2bed and 2x1bed) at first and second floors, widening of vehicle access, 3 x off street parking spaces at rear	29.03.2016	Palmers Green	72,330,00	4,919.94	No deadline	Education	Keith Rowley	SCS	EDU	
LLP Investments & Alpha Bank Ltd	203-205 Green Lanes N13 4UH 15/02143/FUL	Demolition of existing building, erection of 3 storey building incorporating office/letting agent use at ground floor and 4 self contained flats (2x2bed and 2x1bed) at first and second floors, widening of vehicle access, 3 x off street parking spaces at rear	29.03.2016	Palmers Green	72,330,00	3,444.29	No deadline	S105 Monitoring Fee	TBC	R&E	Strategic Planning and Design	
Accurra Investments and Raj Somaia	458 Green Lanes N13 5XD 15/05069/FUL	Conversion of upper floor into 1 x 1 bed self contained flat involving rear domer and single storey rear extension to ground floor flat to create additional living space.	08.04.2016	Palmers Green	17,444.99	16,010.29	No deadline	Affordable Housing	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	These contributions will not be received as the application was not implemented. A new application was submitted following the change of national policy on 11 May 2016 - the new application benefits from the NPPG Small Sites' exemption on S106 Affordable Housing and Education contributions.
Accurra Investments and Raj Somala	458 Green Lanes N13 5XD 15/05069/FUL	Conversion of upper floor into 1 x 1 bed self contained flat involving rear domer and single storey rear extension to ground floor flat to create additional living space.	08.04.2016	Palmers Green	17,444.99	603.99	No deadline	Education	Keith Rowley	SCS	EDU	These contributions will not be received as the application was not implemented. A new application was submitted following the change of national policy on 11 May 2016. The new application benefits from the NPFG Small Sites' exemption on S106 Affordable Housing and Education contributions.
Accurra Investments and Raj Somaia	458 Green Lanes N13 5XD 15/05069/FUL	Conversion of upper floor into 1 x 1 bed self contained flat involving year dormer and single storey year extension to ground floor flat to create additional living space.	08.04.2016	Palmers Green	17,444.99	830.71	No deadline	S106 Monitoring Fee	TBC	R&E	Strategic Planning and Design	These contributions will not be received as the application was not implemented. A new application was submitted following the change of national policy on 11 May 2016 - the new application benefits from the NPPG Small Sites' exemption on S106 Affordable Housing and Education contributions.
Claremont Homes Ltd, Ashley Cole, Lloyds Bank PLC, Boucap LLP and Boutique Capital Ltd	391 Cockfosters Road EN4 QJS P14-00714PLA	Demolition of existing single family dwellinghouse and erection of feno. flats (2 x 2 bed and 4 x 3 bed) in a 2 story building with basement parting, basement accommodation, and accommodation in roof space	21.06.2016	Cockfosters	614,059.44	560,383.60		Affordable Housing	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	3 payments - 1st payment of £168,115.08 due on completion of sale/heeting of 2nd unit to complete. 2nd payment of £168,115.08 due on completion of sale or letting of 4th unit to complete. 3rd payment of ±272,4153.4 due on completion of sale/letting of 6th unit to complete.
Claremont Homes Ltd, Ashley Cole, Lloyds Bank PLC, Boucap LLP and Boutique Capital Ltd	391 Cockfosters Road EN4 QJS P14-00714PLA	Demolition of existing single family dwellinghouse and erection of 6no. flats (2 x 3 bed and 4 x 3-bed) in a 2-storey building with basement parking, basement accommodation, and accommodation in roof space	21.06.2016	Cockfosters	614,059.44	24,435.84		Education	Keith Rowley	SCS	EDU	
Claremont Homes Ltd, Ashley Cole, Lloyds Bank PLC, Boucap LLP and Boutique Capital Ltd	391 Cockfosters Road EN4 QJS P14-00714PLA	Demolition of existing single family dwellinghouse and erection of 6no. flats (2 x 2-bed and 4 x 3-bed) in a 2-storey building with basement parking, basement accommodation, and accommodation in roof space	21.06.2016	Cockfosters	614,059.44	29,240.00		S106 Monitoring Fee	TBC	R&E	Strategic Planning and Design	
Greggs PLC	114 Brancroft Way EN3 7PL 16/00580/FUL	Part demolition and rebuild of existing warehouse areas involving 31 delivery and dispatch docks, and installation of pump house and sprinkler tanks	29.06.2016		35,970.31	32,000.31		Business and Employment Initatives contribution	Gavin Redman	R&E	BED	
Greggs PLC	114 Brancroft Way EN3 7PL 16/00580/FUL	Part demolition and rebuild of existing warehouse areas involving 31 delivery and dispatch docks, and installation of pump house and sprinkler tanks	29.06.2016		35,970.31	3,620.00		Travel Plan Monitoring Fee	David Taylor	R&E	T&T	
Greggs PLC	114 Brancroft Way EN3 7PL 16/00580/FUL	Part demolition and rebuild of existing warehouse areas involving 31 delivery and dispatch docks, and installation of pump house and sprinkler tanks	29.06.2016		35,970.31	350.00		S106 Monitoring Fee	TBC	R&E	Strategic Planning and Design	
Mulchandani	16a Eley Road London N18 3BH P13-00075PLA	Variation of condition 4 and 15 of TP/10/1328 to allow an increase in the number of patrons from 400 to 801 and increase the opening hours from 18.00hrs to 09.00hrs to 09.00hrs to 09.00hrs to 49.00hrs to 49.00hrs to 49.00hrs to 49.00hrs to 49.00hrs to	25.07.2016	Edmonton	6,056.00	2,500.00		On street waiting restrictions	Mick Pond	R&E	T&T	
Mulchandani	The Eley Kould Collaboli N18 3BH P13-00073PLA	nom accords to occords to occords to occords y a week.	25.07.2016	Edmonton	6,056.00	3,431.00		Travel Plan Monitoring Fee	David Taylor	R&E	т&т	
Phatahchand Mulchandani, Manoher Mulchandani, Nirmala Mulchandani and Neeta Mulchandani	16a Eley Road London N18 3BH P13-00075PLA	Variation of condition 4 and 15 of TP/10/1328 to allow an increase in the number of patrons from 400 to 801 and increase the opening hours from 18.00hrs to 00:00hrs to 00:00hrs to 03.00hrs 7 days a week.	25.07.2016	Edmonton	6,056.00	125.00		S106 Monitoring Fee	TBC	R&E	Strategic Planning and Design	
Kenneth Henry Fall and United Trust Bank Ltd	Land End Cottage 18 & 20 Bush Hill London N21 28X 15/02026/FUL	Redevelopment of site to provide 4 x 3-storey blocks of 20 self contained flats comprising 8 x 2-bed, 8 x 3-bed and 4 x 4-bed with basement car and cycle parking and refuse storage, balconies to front and rear, solar panels to roof, alteration to vehicle access and associated landscaping.	27.10.2016	TBC	420,949.22	339,564.65		Affordable Housing	Rupert Brandon	HHAASC	Development & Estates Renewal - Council Homes	(4 equal payments of £84,891.16)
Kenneth Henry Fall and United Trust Bank Ltd	Land End Cottage 18 & 20 Bush Hill London N21 2BX 15/02026/FUL	Redevelopment of site to provide 4 x 3-storey blocks of 20 self contained flats comprising 8 x 2-bed, 8 x 3-bed and 4 x 4-bed with basement car and cycle parking and refuse storage, balconies to front and rear, solar panels to root, alteration to vehicle access and associated landscapine.	27.10.2016	TBC	420,949.22	4,216.84		Childcare	Keith Rowley	SCS	EDU	(4 equal payments of £20.380.16)
Kenneth Henry Fall and United Trust Bank Ltd	Land End Cottage 18 & 20 Bush Hill London N21 28X 15/02026/FUL	Redevelopment of site to provide 4 x 3-storey blocks of 20 self contained flats comprising 8 x 2-bed, 8 x 3-bed and 4 x 4-bed with basement car and cycle parking and refuse storage, balconies to front and rear, solar panets to roof, alteration to vehicle access and associated landscaping,	27.10.2016	TBC	420,949.22	30,000.00		Cycle Enfield	David Taylor	R&E	T&T	(4 equal payments of £1,054.21)
Kenneth Henry Fall and United Trust Bank Ltd	Land End Cottage 18 & 20 Bush Hill London N21 2BX 15/02026/FUL	Redevelopment of site to provide 4 x 3-storey blocks of 20 self contained flats comprising 8 x 2-bed, 8 x 3-bed and 4 x 4-bed with basement car and cycle parking and refuse storage, balconies to front and rear, solar panels to roof, alteration to vehicle access and associated landscaping.	27.10.2016	TBC	420,949.22	47,167.73		S106 Monitoring Fee	TBC	R&E	Strategic Planning and Design	PAID
Chancerygate Ltd	Land at 90-92, 98 and 104 Lockfield Avenue Enfield EN3 7PX. 16/03928/FUL	Redevelopment of the site and construction of an estate road, erection of two blocks providing nine industrial units for use within Use Class B1(c), B2 and B8 with ancillary mezanines, associated are parking and servicing, creation of new access to Brancroft Way, and alteration to junction and access on to lociditel Arvenue	26.05.2017	Brimsdown	124,376.00	112,000.00		Apprenticeship Contribution (28000 x 4)	Anna Loughlin	R&E	BED	
Chancerygate Ltd	Land at 90-92, 98 and 104 Lockfield Avenue Enfield EN3 7PX. 16/03928/FUL	Redevelopment of the site and construction of an estate road, erection of two blocks providing nine industrial units for use within Use Class B1(c), B2 and 88 with ancillary mezzanines, asociated car parking and servicing, creation of new access to Brancroft Way, and alteration to junction and access on to Lockfield Avenue	26.05.2017	Brimsdown	124,376.00	7,500.00		Pedestrian Environment Improvement Contribution	David Taylor	R&E	T&T	
Chancerygate Ltd	Land at 90-92, 98 and 104 Lockfield Avenue Enfield EN3 7PX. 16/03928/FUL	Redevelopment of the site and construction of an estate road, erection of two blocks providing nine industrial units for use within Use Class B1(c), B2 and B8 with ancillary mezzanines, associated car parking and servicing, creation of new access to Brancroft Way, and alteration to junction and access on to Lockfield Avenue	26.05.2017	Brimsdown	124,376.00	3,620.00		Travel Plan Monitoring Fee	David Taylor	R&E	T&T	
Chancerygate Ltd	Land at 90-92, 98 and 104 Lockfield Avenue Enfield EN3 7PX. 16/03928/FUL	Redevelopment of the site and construction of an estate road, erection of two blocks providing nine industrial units for use within Use Class B1(c), B2 and B8 with ancillary mezzanines, suscitated car parking and servicing, creation of new access to Brancroft Way, and alteration to junction and access no to bookfield Avenue	26.05.2017	Brimsdown	124,376.00	1,256.00		S106 Monitoring Fee	TBC	R&E	Strategic Planning and Design	
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