

Public Document Pack



PLANNING COMMITTEE

Tuesday, 23rd January, 2018 at 7.30 pm
Venue: Conference Room, The Civic Centre,
Silver Street, Enfield, Middlesex, EN1 3XA

Contact: Jane Creer / Metin Halil
Committee Administrator
Direct : 020-8379-4093 / 4091
Tel: 020-8379-1000
Ext: 4093 / 4091

E-mail: jane.creer@enfield.gov.uk
metin.halil@enfield.gov.uk
Council website: www.enfield.gov.uk

MEMBERS

Councillors : Toby Simon (Chair), Dinah Barry, Jason Charalambous, Nick Dines, Ahmet Hasan, Bernadette Lappage, Derek Levy (Vice-Chair), Anne-Marie Pearce, Donald McGowan, George Savva MBE, Jim Steven and Elif Erbil

N.B. Any member of the public interested in attending the meeting should ensure that they arrive promptly at 7:15pm
Please note that if the capacity of the room is reached, entry may not be permitted. Public seating will be available on a first come first served basis.

Involved parties may request to make a deputation to the Committee by contacting the committee administrator before 12:00 noon on 22/01/18

AGENDA – PART 1

- 1. WELCOME AND APOLOGIES FOR ABSENCE**
- 2. DECLARATION OF INTERESTS**

Members of the Planning Committee are invited to identify any disclosable pecuniary, other pecuniary or non-pecuniary interests relevant to items on the agenda.

- 3. MINUTES OF THE PLANNING COMMITTEE HELD ON TUESDAY 19 DECEMBER 2017**

To receive the minutes of the Planning Committee meeting held on Tuesday 19 December 2017.

TO FOLLOW

4. REPORT OF THE ASSISTANT DIRECTOR, REGENERATION AND PLANNING (REPORT NO.143) (Pages 1 - 2)

To receive the covering report of the Assistant Director, Regeneration & Planning.

5. 17/05006/RE4 - MERIDIAN WATER, WILLOUGHBY LANE AND MERIDIAN WAY, LONDON N18 (Pages 3 - 34)

RECOMMENDATION: That planning permission be granted in accordance with Regulations 3 and 4 of the Town and Country Planning General Regulations 1992, subject to conditions

WARD: Upper Edmonton

6. 17/02695/RE4 - LEICESTER HOUSE, 17 CAVENDISH CLOSE, LONDON N18 2LP (Pages 35 - 48)

RECOMMENDATION: Approval subject to conditions

WARD: Edmonton Green

7. 17/03283/HOU - 3 SEAFORTH GARDENS, LONDON N21 3BT (Pages 49 - 66)

RECOMMENDATION: Approval subject to conditions

WARD: Winchmore Hill

8. 17/03651/FUL - THE COTTAGE, CHURCH HILL, LONDON N21 1JA (Pages 67 - 86)

RECOMMENDATION: Refusal

WARD: Winchmore Hill

9. 17/04799/ADV - PUBLIC FOOTPATH OUTSIDE, 124 - 146 VILLAGE ROAD, ENFIELD EN1 2EX (Pages 87 - 100)

RECOMMENDATION: Approval subject to conditions

WARD: Bush Hill Park

10. S106 AGREEMENTS - MONITORING INFORMATION, MID YEAR REPORT (REPORT NO. 144) (Pages 101 - 122)

To receive the report of the Executive Director of Regeneration and Environment to provide an update on the monitoring of Section 106 Agreements (S106) and progress on Section 106 matters.

INF

11. EXCLUSION OF THE PRESS AND PUBLIC

If necessary, to consider passing a resolution under Section 100A(4) of the Local Government Act 1972 excluding the press and public from the meeting

for any items of business moved to part 2 of the agenda on the grounds that they involve the likely disclosure of exempt information as defined in those paragraphs of Part 1 of Schedule 12A to the Act (as amended by the Local Government (Access to Information) (Variation) Order 2006).
(There is no part 2 agenda)

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MUNICIPAL YEAR 2017/2018 - REPORT NO 143

COMMITTEE:
PLANNING COMMITTEE
23.01.2018

AGENDA - PART 1	ITEM 4
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SUBJECT -

MISCELLANEOUS MATTERS

REPORT OF:
Assistant Director, Regeneration
and Planning

Contact Officer:
Planning Decisions Manager
David Gittens Tel: 020 8379 8074
Kevin Tohill Tel: 020 8379 5508

4.1 APPLICATIONS DEALT WITH UNDER DELEGATED POWERS INF

4.1.1 In accordance with delegated powers, 392 applications were determined between 07/12/2017 and 11/01/2018, of which 279 were granted and 113 refused.

4.1.2 A Schedule of Decisions is available in the Members' Library.

Background Papers

To be found on files indicated in Schedule.

4.2 PLANNING APPLICATIONS AND APPLICATIONS TO DISPLAY ADVERTISEMENTS DEC

On the Schedules attached to this report I set out my recommendations in respect of planning applications and applications to display advertisements. I also set out in respect of each application a summary of any representations received and any later observations will be reported verbally at your meeting.

Background Papers

- (1) Section 70 of the Town and Country Planning Act 1990 states that the Local Planning Authority shall have regard to the provisions of the development plan, so far as material to the application, and to any other material considerations. Section 54A of that Act, as inserted by the Planning and Compensation Act 1991, states that where in making any determination under the Planning Acts, regard is to be had to the development, the determination shall be made in accordance with the plan unless the material considerations indicate otherwise. The development plan for the London Borough of Enfield is the London Plan (March 2015), the Core Strategy (2010) and the Development Management Document (2014) together with other supplementary documents identified in the individual reports.
- (2) Other background papers are those contained within the file, the reference number of which is given in the heading to each application.

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LONDON BOROUGH OF ENFIELD

PLANNING COMMITTEE

Date : 23 January 2018

Report of
Assistant Director,
Regeneration & Planning

Contact Officer:
Andy Higham
Sharon Davidson
Ms Claire Williams
Tel No: 02083794372

Ward:
Upper Edmonton

Ref: 17/05006/RE4

Category: Full Application

LOCATION: Meridian Water, Willoughby Lane And Meridian Way, London, N18

PROPOSAL: Erection of a Pressure Reduction Station (PRS) with associated parking, landscaping and access from Albany Road.

Applicant Name & Address:

Enfield Council
Silver Street
Enfield
EN1 3XY

Agent Name & Address:

Ms Anna Richards
Arup
13 Fitzroy Street
London
W1T 4BQ

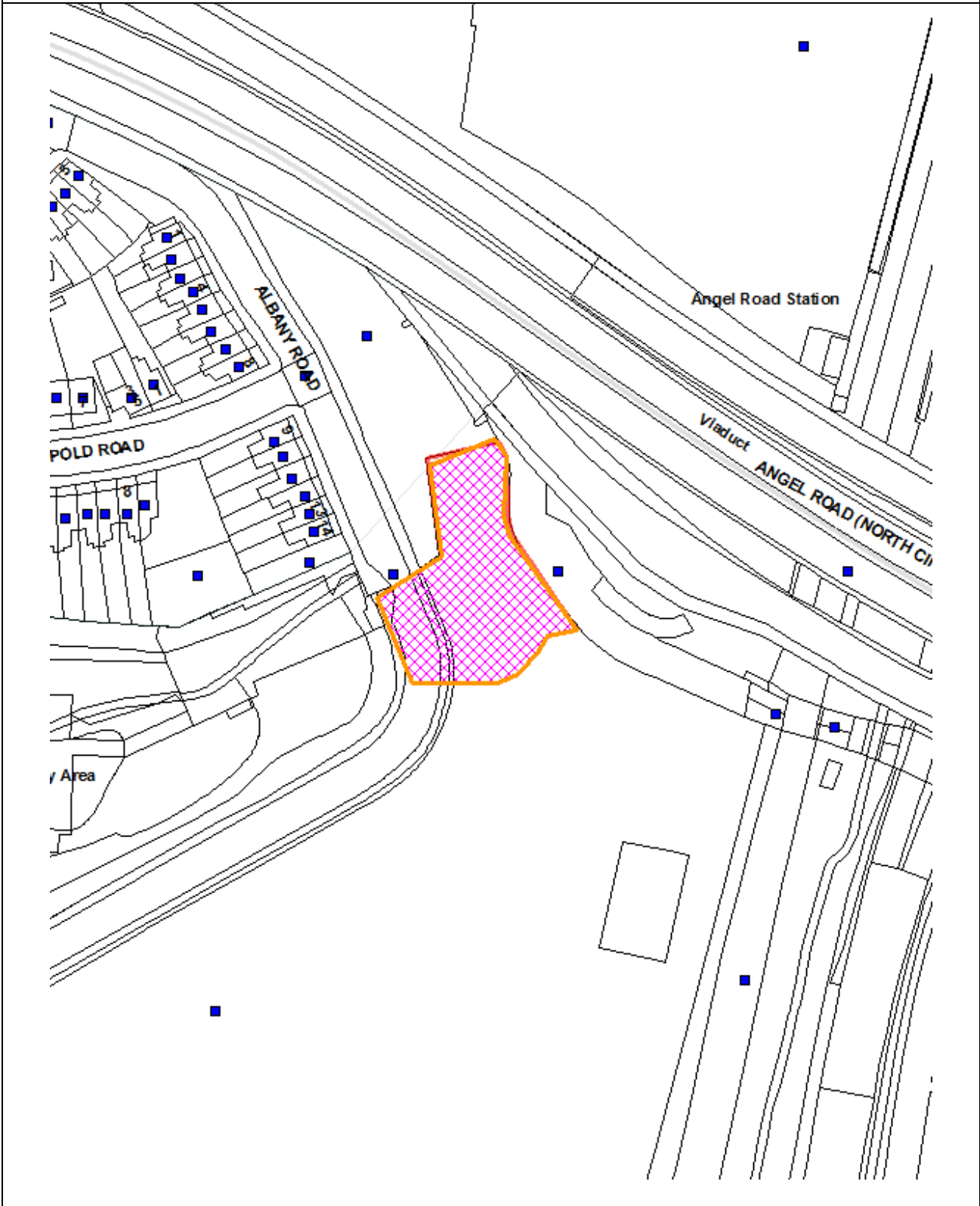
RECOMMENDATION:

That planning permission be **Granted** in accordance with Regulation 3 and 4 of the Town and Country Planning General regulations 1992 subject to conditions.

Note for Members:

The application has been brought to the Planning Committee because the application has been submitted by the Regeneration Team within Enfield Council.

Ref: 17/05006/RE4 LOCATION: Meridian Water, Willoughby Lane And, Meridian Way, N18



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Scale 1:1250

North



1.0 Site and Surroundings

- 1.1 The application site is a former gasworks and is currently unused. The site measures approximately 0.125 hectares and is located to the north of phase 1 of the Meridian Water site that received outline planning consent on 10th July 2017 for the erection of up to 725 new residential units, commercial floorspace, a new station and associated infrastructure. The site also falls within the area covered by the remediation permission 15/04173/RE4 and includes the underlap areas at Albany Road and Pymmes Brook.
- 1.2 To the east of the site is Pymmes Brook, beyond which is the West Anglian Main Line (WAML). To the west of the site is Albany Road which consists of Meridian Angel Primary School and two storey terraced residential dwellings and to the north is the A406 North Circular Road.
- 1.3 The land immediately to the north of the site is unregistered land beyond which is land owned by Transport for London and the Environment Agency.
- 1.4 The site is located within Flood Zones 2 and 3, the Upper Lee Valley Opportunity Area and the Meridian Water Place Shaping Priority Area. The site is not located within a Conservation Area and the site does not comprise any listed buildings.

2.0 Proposal

- 2.1 Planning permission is sought for the erection of a pressure reduction station (PRS) with associated parking, landscaping and access from Albany Road. The existing operational PRS located to the south east of the Meridian Water phase 1 site would be decommissioned under National Grid's permitted development rights. The existing and proposed PRS locations are shown in figure 1.
- 2.2 A PRS acts to reduce gas pressure so it can be safely delivered to residents in the area. It is used to regulate pressure rather than manufacture or store gas. Gas initially enters the distribution networks at high pressure. It is then transported through a number of reducing pressure tiers to lower the pressure of gas in the pipe network so it can be used in homes and at places of work. A PRS comprises below ground pipes and above ground structures. It safely connects pipe systems that operate at different pressures and includes equipment that monitors pressure

and allows safety inspections. The PRS equipment will be owned and managed by National Grid.

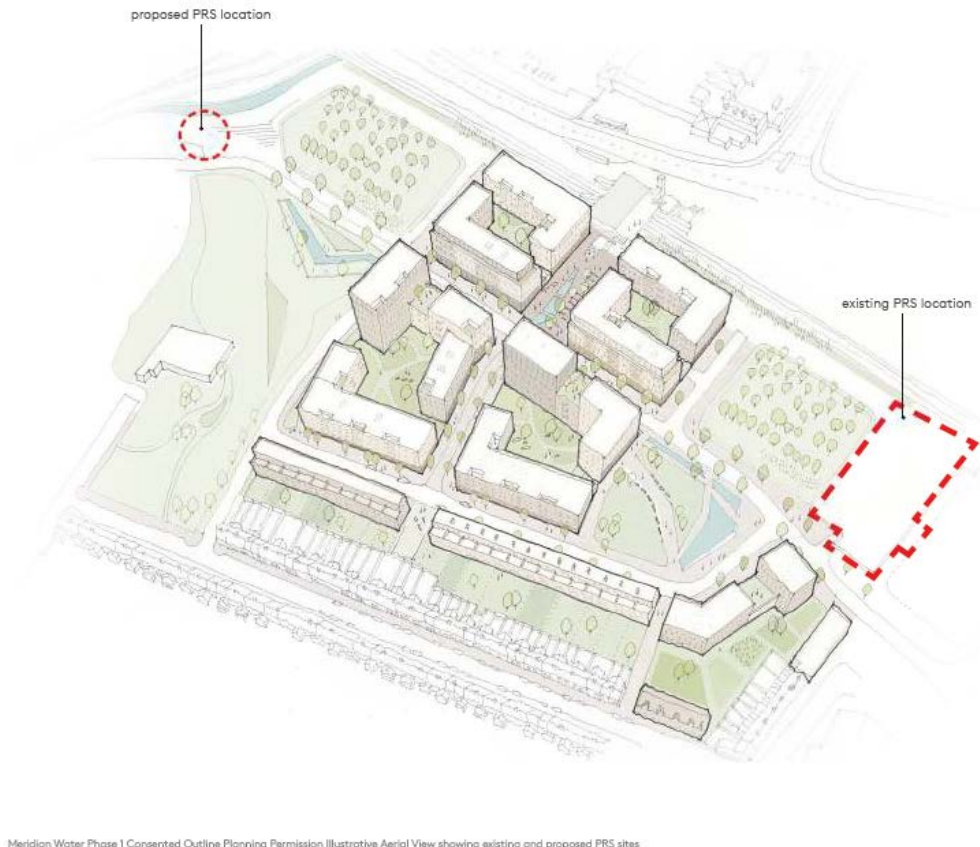


Figure 1 – Existing and proposed PRS location

- 2.3 The proposal includes a PRS compound that will be surrounded by an elliptical grey facing brick façade that would measure 3.5 metres in height. The compound would measure a maximum length of 26.5 metres and a maximum width of 13 metres. Within the compound there will be two parking bays, a PRS kiosk and PRS equipment that would be sited below ground level. The design of the PRS equipment would be the responsibility of the National Grid engineers. A panic gate to provide emergency access for pedestrians from the compound would be sited to the south east of the brick wall and lighting fixtures would be sited around the brick wall.

- 2.4 There will be a 3 metre 'no build zone' around the footprint of the PRS so that the compound can be adequately maintained and access for equipment is not restricted. At its narrowest point there would be a 5 metre buffer zone to Pymmes Brook.



Figure 2: Proposed PRS enclosure and existing fencing to be retained

- 2.5 The existing 2.4 metre high palisade fence that secured the whole of the former gas works will be retained and enhanced to act as security fencing. Two pedestrian gates and a vehicular gate sited between the existing brick piers are proposed to the west of the site so that access can be gained from Albany Park Road. This will be the temporary arrangement to secure the site until the Phase 1 Meridian Water proposals are developed and built out. Once the Phase 1 development comes forward alternative enclosure and security measures will come forward, commensurate with the changing environment and character of the development. The gates will be locked to prevent unrestricted access to the site. A ramped access to the enclosure is also proposed to ensure that the PRS equipment is housed above flood level.
- 2.6 The two proposed parking spaces would provide parking for two transit vans which National Grid will use to visit and maintain the PRS facility.

- 2.7 An interim landscape and access arrangement is proposed until such time as the details for phase 1 come forward. These details are already required by conditions attached to the outline planning permission. The site is not currently publicly accessible and will remain this way during the construction of phase 1 of the Meridian Water site.

3.0 Relevant Planning History

Meridian Water Site

- 3.1 16/01197/RE3 – Development of Phase 1 of Meridian Water comprising up to 725 residential units, new station building, platforms and associated interchange and drop-off facilities including a pedestrian link across the railway, a maximum of 950 sqm retail (A1/A2/A3), floorspace, a maximum of 600 sqm of community (D1) floorspace, a maximum of 750 sqm of leisure (D2) floorspace, associated site infrastructure works including ground and remediation works, roads, cycle-ways and footpaths, utility works above and below ground, surface water drainage works, energy centre and associated plant, public open space and childrens play areas, and various temporary meantime uses without structures (landscaping and open space). OUTLINE APPLICATION - ACCESS ONLY. An Environmental Statement, including a non-technical summary, also accompanies the planning application in accordance with the Town and Country Planning (Environmental Impact Assessment) Regulations 2011 (as amended by the 2015 Regulations). – Granted 10/07/2017
- 3.2 17/02952/RM - Submission of reserved matters pursuant to condition 5, part (i) of outline planning permission ref: 16/01197/RE3 in respect of Layout in relation to the Station Building Site only for the new Station Building and platform (to replace Angel Road Station) including a pedestrian link across the railway at the Phase 1 site. – Granted 18.09.2017 – National Rail are set up on site and are ready to commence construction.
- 3.3 15/04173/RE4 - The remediation of contaminated soils and shallow groundwater and removal of buried structures – Granted 26/11/2015 – Remediation works have commenced.
- 3.4 P13-03564PRI - Removal of 2 no. gasholders and associated booster house building. – Prior approval not required 11.04.2013 – completed.

- 3.5 P13-01382PLA - Temporary stockpiling of London Clay for a period of 24 months on western side of the site. - Granted 29/11/2013 – clay used as backfill and/ or removed from site. Land has now been reinstated.
- 3.6 SO/07/0005 – EIA not required – 04/02/2008

4.0 Consultation

4.1 Statutory and Non-Statutory Consultees:

4.1.1 Traffic and Transportation: No objection subject to conditions relating to the review of access arrangements, limitation of the use of the vehicular gates to the servicing of the PRS and emergency vehicles and the use of gates onto the highway that open inward. The proposal is unlikely to generate significant additional vehicle trips or significantly impact on the free flow of traffic on the public highway or highway safety.

4.1.2 Environmental Health: No objection as there is unlikely to be a negative environmental impact and in particular there are no concerns regarding air quality, noise or contaminated land. The acoustic report adequately demonstrates that the pressure reduction station will not negatively impact upon nearby residential properties.

4.1.3 Tree Officer: No objection. Although there is a lack of adequate landscaping including tree planting, it is noted that this current development proposal is a short term scheme and further landscaping of the site will occur when the Meridian Water development is further advanced.

4.1.4 SuDS Officer:

Initially raised an objection due to inadequate information provided on flood risk and SuDS. For example there are no details of compensatory flood storage. The SuDS Officer requested an updated site plan that identifies the land along the river bank and to the north to act as both flood storage and SuDS features. The plan has been requested and is to be submitted. Members will be provided with an update at the meeting.

4.1.5 Environment Agency: No objection subject to a condition requiring details of a scheme for the provision and management of a minimum of 5 metre wide buffer zone alongside the Pymmes Brook to be submitted to and approved by the LPA.

Without the condition the proposed development would pose an unacceptable risk to the environment and the EA would raise an objection to the scheme.

4.1.6 Transport for London (TfL): No objection. Requested a summary of the routes construction and servicing vehicles will take to the site and that vehicles do not visit the site during the pick-up and drop-off times at the Meridian Angel Primary School.

4.2 Public:

Letters were sent to 68 adjoining and nearby residents and no responses were received.

Prior to the submission of the application the applicant consulted the local community on the proposal. No responses were received by residents or the school and no formal comments were received by the local resident group, Residences of Edmonton Angel Community Together (REACT).

5.0 Relevant Planning Policies

5.1 London Plan (2016)

Policy 2.3 Growth areas and co-ordination corridors
Policy 2.6 – Outer London: vision and strategy
Policy 2.7 – Outer London: economy
Policy 2.8 – Outer London: transport
Policy 2.13 - Opportunity areas and intensification areas
Policy 2.14 - Areas for regeneration
Policy 2.16 - Strategic outer London development centres
Policy 4.1 – Developing London’s economy
Policy 4.3 - Mixed use development and offices
Policy 5.1 – Climate change mitigation
Policy 5.2 – Minimising carbon dioxide emissions
Policy 5.3 – Sustainable design and construction
Policy 5.7 – Renewable energy
Policy 5.12 Flood Risk Management
Policy 6.3 - Assessing Effects of Development on Transport Capacity
Policy 6.13 – Parking
Policy 7.1 – Building London’s neighbourhoods and communities
Policy 7.2 – An inclusive environment

Policy 7.3 – Designing out crime
Policy 7.4 – Local character
Policy 7.5 – Public realm
Policy 7.6 – Architecture
Policy 7.14 - Improving air quality
Policy 7.15 – Reducing noise and enhancing soundscapes
Policy 7.18 – Protecting local open space and addressing local deficiency
Policy 7.19 – Biodiversity and access to nature
Policy 7.21 - Trees and Woodland

5.2 Core Strategy (2010)

Core Policy 13 - Promoting Economic Prosperity
Core Policy 20 - Sustainable energy use and energy infrastructure
Core Policy 24 - The Road Network
Core Policy 28 - Managing Flood Risk through Development
Core Policy 29 - Flood management infrastructure
Core Policy 30 - Maintaining and Improving the Quality of the Built and Open Environment
Core Policy 31 - Built and landscape heritage
Core Policy 32 - Pollution
Core Policy 34 - Parks, playing fields and other open spaces
Core Policy 36 - Biodiversity
Core Policy 37 - Central Leaside
Core Policy 38 - Meridian Water
Core Policy 40 - North East Enfield

5.3 Development Management Document (2014)

DMD37 - Achieving High Quality and Design-Led Development
DMD45 - Parking Standards and Layout
DMD46 - Vehicle crossovers and dropped kerbs
DMD47 - Access, New Roads and Servicing
DMD53 - Low and Zero Carbon Technology
DMD57 - Responsible Sourcing of Materials, Waste Minimisation and Green Procurement
DMD58 - Water Efficiency
DMD59 - Avoiding and Reducing Flood Risk
DMD61 - Managing Surface Water
DMD63 - Protection and improvement of watercourses and flood defences
DMD64 - Pollution control and assessment

DMD66 - Land contamination and instability
DMD68 - Noise
DMD69 - Light Pollution
DMD79 - Ecological Enhancements
DMD80 - Trees on development sites
DMD81 - Landscaping

5.4 Other Policy

National Planning Policy Framework 2012 (NPPF)
National Planning Practice Guidance 2016 (NPPG)
Edmonton Leaside Area Action Plan (Proposed Submission – January 2017)
Upper Lee Valley Opportunity Area Planning Framework (July 2013)
Meridian Water Master Plan (July 2013)

6.0 Analysis

6.1 This report sets out an analysis of the issues that arise from the proposals in the light of adopted strategic and local planning policies. The main issues are considered as follows:

- Principle of development
- Design and appearance
- Traffic and transport
- Flood Risk
- Landscaping and open space
- Impact on the outline planning permission

Principle of Development

6.2 The application site lies within the boundary of the Edmonton Leaside Area Action Plan (ELAAP) and the Meridian Water Regeneration area, both of which occupy a strategic location within the London-Stanstead-Cambridge corridor. Edmonton Leaside is a priority area for regeneration, jobs and housing. Meridian Water is long established as a significant opportunity area for regeneration, through Enfield's Core Strategy (2010), the London Plan (2016) and the Upper Lee Valley Opportunity Area Framework (2013). It is the Council's largest regeneration priority area, identified in the Core Strategy as a location where a comprehensive approach to development will take place.

- 6.3 The creation of a new urban mixed use community at Meridian Water is set out in site specific planning policies contained in the adopted Local Plan (Core Strategy Policies 37 and 38). The objectives of new development at Meridian Water (as set out in Policy 38 of the Core Strategy) would be to create up to 5,000 new homes and 1500 new jobs and these figures have been subsequently revised upwards to 10,000 new homes and 6,000 new jobs as set out in the Proposed Submission Edmonton Leaside Area Action Plan (2017).
- 6.4 Development at Meridian Water will include all the necessary infrastructure to support the community and attract families and business to the area including: new schools; a mix of residential, retail and community uses; high quality public realm; reducing flood risk; sustainable housing embracing new technologies; high density development closer to Meridian Water rail station and waterfronts; new development to maximise the opportunities offered by waterfront locations; a new spine running through the area, connecting all parts of Meridian Water, linking new and existing communities; improved connectivity both north-south and east-west; integration with immediate employment areas; a mix of housing types and tenures; new open space; restoration of waterways which run through the development.
- 6.5 The relocation of the PRS from the south of the phase 1 Meridian Water site to the north is important to the delivery of phase 1 and the wider Meridian Water site with regard to efficiency. The relocation of the PRS will allow for the IP main to be diverted. The current location of the IP means that the utilities required to service development plots need to cross the IP main at multiple locations, which would cause several indemnity liability challenges between the phase 1 development and National Grid. To support delivery of Phase 1, the IP needs to be diverted by mid-2018, and as such the PRS relocation is a priority project. It should be noted that the existing PRS site is not included within the existing outline planning permission and therefore the relocation of the PRS is subject to a new planning application.
- 6.6 The relocation of the PRS provides an opportunity to introduce a more effective use of the land to the south and develop the site in the future as part of the wider Meridian Water masterplan. The existing location of the PRS was tested for its viability when the Meridian Water masterplan was being developed. A series of massing and capacity studies were undertaken at the design stage, that illustrated how the site could be brought forward in the future as a residential development, improving the aspect and street conditions for all the plots bounding the existing PRS site and providing an active edge to the masterplan from the railway line. If the existing PRS site is to come forward for residential development itself then this will also need to be subject to a new planning application.

- 6.7 It should also be acknowledged that although there are constraints on the site, the proposed location of the PRS was assessed amongst eight other possible locations including land outside of Enfield's ownership and other open spaces within the phase 1 site. The application site was considered to be the optimum site for the PRS for a number of reasons: land being in ownership of Enfield Council, the availability of the site and therefore speed of delivery, that it would have the least impact on existing and proposed communities and existing and proposed open spaces, the opportunities for access from Albany Road and its proximity to the Intermediate Pressure (IP) gas main located close to Albany Road which would enable easy connection to minimise disruption and cost.

Design and Appearance

- 6.8 Policy CP30 of the Core Strategy requires new development to be of a high quality design and in keeping with the character of the surrounding area. Policy DMD37 sets out criteria for achieving high quality and design led development.
- 6.9 The building sits as an object like structure that integrates with the wider landscape and reduces the negative impact within the area. The form of the PRS has developed as a direct response to the cylindrical form of the former gas holders on the site. The elliptical form of the PRS enclosure seeks to reference the gas holders whilst concealing the PRS equipment from view to the public. The brick wall functions as both a visual and security screen to the public.
- 6.10 The compound would measure a maximum length of 26.5 metres and a maximum width of 13 metres and with an elliptical shape and maximum height of 3.5 metres. The enclosure would not appear dominant within the landscape. The remaining area of the application site would be landscaped which would blend in with the surrounding area that would comprise an open space and a naturalised brook. The proposed enclosure is simple, robust and references the sites history as a former gas works.
- 6.11 A materials specification was submitted with the application. The proposed external materials have been chosen to draw on the materials and colour palette of the existing and proposed surrounding infrastructure. A grey brick is proposed rather than a red or buff brick which is commonly used for residential units in the area to distinguish the PRS from residential units. It is important to ensure that the materials and details of the scheme are high quality and therefore a condition requiring details on the proposed external materials and boundary treatments will

be required. A condition will also be attached that requires a sample of the anti-graffiti coating to be applied to the external brick façade.

- 6.12 The enclosure has been designed to avoid façade treatments that people can climb up, ensures that the area between the PRS and Pymmes Brook is not overlooked and security fencing is retained and enhanced. All of these features will help to reduce the potential for security and safety issues arising in the future.
- 6.13 It is acknowledged that the wider Meridian Water Phase 1 landscape proposals have not been fully developed. There is some uncertainty around land acquisition and highway design and maintenance arrangements at this stage and therefore the landscape proposals for the application site cannot be fully developed. To allow the PRS to be delivered independently of phase 1 of Meridian Water and to ensure that the landscaping and public realm on the site is appropriately integrated with the wider phase, an interim solution for the landscape has been produced and the final landscape design will be agreed through reserved matters/ discharge of condition applications through the outline planning permission.
- 6.14 Possible future enclosure and landscaping scenarios have been included within the Design and Access Statement that was submitted with the planning application and are shown below. The scenarios show how the landscaping within the application site would sit within the wider context of Meridian Water in terms of landscaping and open space and that the proposal could be developed and delivered in line with phase 1 of the Meridian Water scheme. A condition would be required that requires details to be submitted to and approved by the LPA to capture the arrangements for the removal of the fencing once the details for phase 1 have been secured and built out.

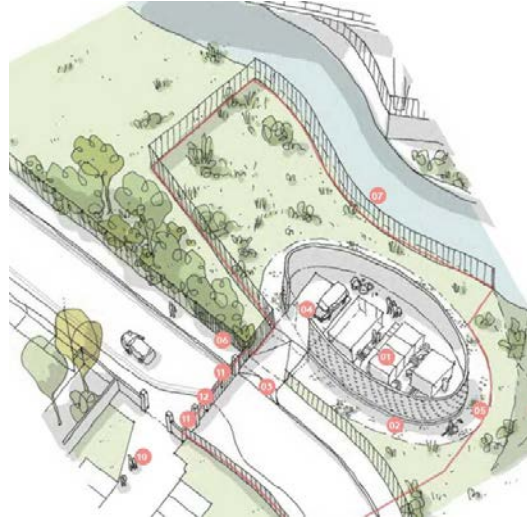


Figure 3: Proposed Scheme

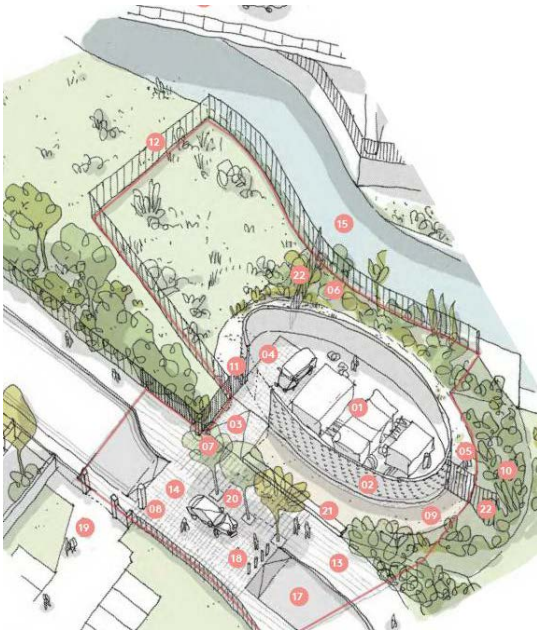


Figure 4: Illustrative future scheme A

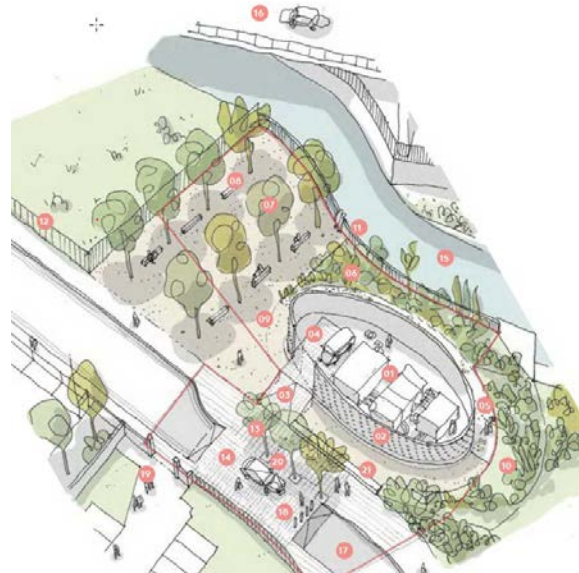


Figure 5: Illustrative future scheme B

Impact on Residential Amenity

- 6.15 Any new development should not impact on the residential amenity of neighbouring residents. Policies 7.6 of the London Plan and CP30 of the Core Strategy seek to ensure that new developments have appropriate regard to their surroundings, and that they improve the environment in terms of residential amenity.
- 6.16 The Environmental Health Officer was consulted on the scheme and raised no objection to the proposal as there is unlikely to be a negative environmental impact. In particular there are no concerns regarding air quality, noise or contaminated land.
- 6.17 Due to the distance between the proposed structure and nearby residential properties which would measure a minimum distance of approximately 27 metres, the proposal would not result in any demonstrable harm to neighbouring residential amenity. The brick façade would not be excessive in height and the submitted Noise Assessment demonstrates that the PRS will not negatively impact upon nearby residential properties.

Traffic and Transportation

- 6.18 The London Plan, Core Strategy and DMD encourage and advocate sustainable modes of travel and require that each development should be assessed on its respective merits and requirements, in terms of the level of parking spaces to be provided for example.
- 6.19 Policy DMD45 requires parking to be incorporated into schemes having regard to the parking standards of the London Plan; the scale and nature of the development; the public transport accessibility (PTAL) of the site; existing parking pressures in the locality; and accessibility to local amenities and the needs of the future occupants of the developments.
- 6.20 National Grid will visit the site typically every fortnight for maintenance purposes and there is also likely to be a monthly routine maintenance check. Two parking spaces are proposed to be sited within the compound to be used by National Grid for maintenance of the PRS. The number of parking spaces proposed is considered acceptable given the nature of the scheme.
- 6.21 Policy DMD47 states that new development will only be permitted if the access and road junction which serves the development is appropriately sited and is of an appropriate scale and configuration and there is no adverse impact on highway safety and the free flow of traffic.

- 6.22 A requirement to house the PRS equipment above the flood level has meant a ramped access to the enclosure is necessary. This ramp will allow National Grid vehicles to reverse into the enclosure, to park in the two parking bays marked out within the compound and exit onto Albany Road in forward drive. To ensure clear access to the school at all times, a condition requiring details on signage limiting parking opposite the school gates would be required. TfL have also requested that a condition be attached to any permission that prevents vehicles from accessing the site during pick-up and drop-off times for the Meridian Angel Primary School.
- 6.23 The pedestrian and vehicular access gates will be locked with standard issue padlocks which emergency teams such as the police and ambulances will be able to unlock or break to allow emergency access.
- 6.24 Under phase 1 of the Meridian Water development, it was proposed that pedestrian access would be provided from Albany Road with restricted access for vehicles and the potential for a bus only route in the future. With Albany Road opening up in the future and becoming publicly accessible, the access arrangements to the PRS will need to be reviewed and alternative arrangements agreed. A number of options for maintenance access have been explored and discussed with the LPA and Traffic and Transportation prior to the submission of the application and these options are set out in the submitted Design and Access Statement and shown below. There are a number of outstanding matters however which prevent the identification of a preferred option for access in the future. These include national grid access requirements, pedestrian and vehicular safety constraints, and the need to determine whether Albany Road will become adopted highway, or remain a private road. Therefore future access arrangements will need to be secured through discharge of conditions and reserved matters through the Phase 1 permission or any variation of the permission.
- 6.25 T&T were consulted on the application and raised no objection as the proposal is unlikely to generate significant additional vehicle trips as there is an existing facility to the south, or significantly impact on the free flow of traffic on the public highway or highway safety as the majority of the activities will take place on private land behind a boundary fence. Conditions were suggested relating to the review of access arrangements in response to the delivery of each phase of the Meridian Water development, limitation of the use of the vehicular gates to the servicing of the PRS and emergency vehicles and the use of gates onto the highway that only open inwards. The conditions would be attached to any permission excluding the condition that relates to the review and amendment of access arrangements in response to the delivery of each phase of the Meridian Water development, as this

can be dealt with under the existing outline planning permission conditions and reserved matters.

Flooding

- 6.26 Policy DMD59 states that new development must avoid and reduce the risk of flooding, and not increase the risk elsewhere. Policy DMD61 states that a Drainage Strategy will be required for all development to demonstrate how proposed measures manage surface water as close to its source as possible and follow the drainage hierarchy in the London Plan.
- 6.27 The application site falls within Flood Zones 2 and 3 and is therefore considered to have a high to medium probability of flooding. The site is subject to fluvial flooding largely from the Pymme's Brook on the northern boundary. A flood risk and drainage strategy was submitted with the application. The Environment Agency is responsible for the management of the Pymme's Brook and the brook bank is subject to an easement for access.
- 6.28 Policy DMD63 of the DMD requires that new development should be set back from main rivers and ordinary watercourses, in the case of the former, maintain a minimum 8 metre buffer strip, which should be free of development and naturalised where feasible. An 8 metre buffer zone with the Pymmes Brook was agreed under the outline planning permission (condition 54), however due to site constraints and the PRS size requirements it was not possible to maintain a continuous 8 metre buffer. Following discussions with the EA, it was confirmed by them that they do not have an issue with the proposed buffer strip on the basis that it is a narrow section where there is only 5 metres and further upstream there is a much larger area where there is no built footprint at all to compensate. The Environment Agency were consulted on the application and raised no objection to the scheme subject to a condition relating to the provision and management of a minimum 5 metre wide buffer zone along the Pymmes Brook. The EA also highlighted that the proposals for the banks within the application site must tie in with the proposals for the wider development. As the proposal would not fully comply with the requirements of condition 54 of the outline planning permission an application would need to be submitted to amend the wording of the condition to reflect this condition.
- 6.29 As part of the Meridian Water Phase 1 Flood Risk Assessment (FRA), a review was undertaken of the volume of flooding within the development. The flood areas and flow paths were affected by the development and therefore compensation

areas were proposed, these included a number of areas which can flood sequentially in the event of flooding in the Pymme's Brooke. The Brook Community Park, adjacent to Pymmes Brook formed part of the flood strategy for the phase 1 site and as such, the Pymme's Brook would be allowed to flood within a given area. The Planning Statement states that the site will be contoured in the future as part of a flood strategy and the PRS was developed to be capable of integrating into these proposals by allowing the flood embankment to wrap around the building, embedding the structure in the landscape.

- 6.30 The location of the PRS would impact on the current strategy for flood mitigation set out in the approved phase 1 of Meridian Water however an option to extend the flood mitigation to the south has been suggested. The PRS footprint extends into the area currently designated for flood mitigation under the consented Meridian Water Phase 1 strategy. The Design and Access Statement sets out that the loss of the flood compensation area resulting from the PRS footprint is approximately 260m³. In order to mitigate for this impact, the flood compensation area within Meridian Water Phase 1 will be extended southwards by 2.5 metres. The flood compensation area is approximately 55 metres wide and the flooded volume depth is approximately 2 metres deep, therefore extending the compensation south by 2.5m provides 275m³ to mitigate the loss due to the PRS. The Design and Access Statement also sets out that this amendment will be made through a separate application under Section 96A for a non-material amendment to the Phase 1 permission if required by the LPA. However the current application will also need to provide flood compensation areas within the application site. The SuDS Officer requested that a plan showing that the landscaped areas will also act as flood storage and SuDS features be provided. This drawing has been requested and will form part of the approved drawings.
- 6.31 The area of the proposed PRS has an existing ground level of between 11.0mOD and 11.2mOD. This is below the flood levels of 11.45 metres identified by the Environment Agency. The ground level is consequently proposed to be raised to 11.6m for the areas of plant area and building and 11.35 for areas of parking. The lower level in the parking area is to allow for access to Albany Road, where existing levels need to be maintained. The proposed levels have been designed to suit the PRS layout and raise it above the flood levels.
- 6.32 In terms of drainage, the site is proposed to be attenuated by allowing infiltration through the permeable finishes with a land/filter drain system within the build-ups over the remediation capping layer. A channel drain would be provided at the base of the access ramp to the PRS, which would be connected to the land drainage system. The network would outfall to the Pymmes Brooke, with a hydrobrake or

similar flow control device. The SuDS Officer has raised a number of points regarding sustainable drainage such as the highway drainage being diverted into a SuDS feature to treat runoff before it discharges into the Pymmes Brook and whether geological investigations have been undertaken that supports the use of infiltration at this location. It is not considered appropriate to refuse the application on this basis as a condition can be attached to any permission to ensure that a drainage strategy is submitted to the LPA for approval.

- 6.33 The SuDS Officer initially raised an objection due to inadequate information provided on flood risk and SuDS. For example there are no details of compensatory flood storage. Discussions have taken place and given the comments received from the EA, the flood risk assessment that was submitted under the outline planning permission and to prevent delays to the programme the SuDS Officer requested an updated site plan that identifies the land along the river bank and to the north to act as both flood storage and SuDS features and an appropriate condition requiring the submission of an updated drainage strategy.

Trees, Landscaping and Biodiversity

- 6.34 Policy DMD80 seeks to protect trees of significant amenity or biodiversity value. Policy DMD81 sets out that developments must provide high quality landscaping that enhances the local environment and should add to the local character, benefit biodiversity, help mitigate the impacts of climate change and reduce water run off.
- 6.35 Remediation will result in the removal of all of the existing vegetation on the site. A landscape specification was submitted with the application and it is proposed that all soft landscaped areas will be hydroseeded with a meadow mix (wet meadow) in order to uplift the site's ecological and biodiversity value following the remediation of the area. The hydroseed mix will contain at least 20 species.
- 6.36 The outline planning consent on the site proposes that the brook edge to the south of the PRS site is naturalised and integrated with tree planting and seating, allowing a new public park at the north eastern boundary of the Phase 1 site. With regard to the long term PRS landscape design the intention is to continue the riverine planting from the Pymmes Brook into the site. This will include river bank tree species, marginals (where appropriate) and wet meadow species.

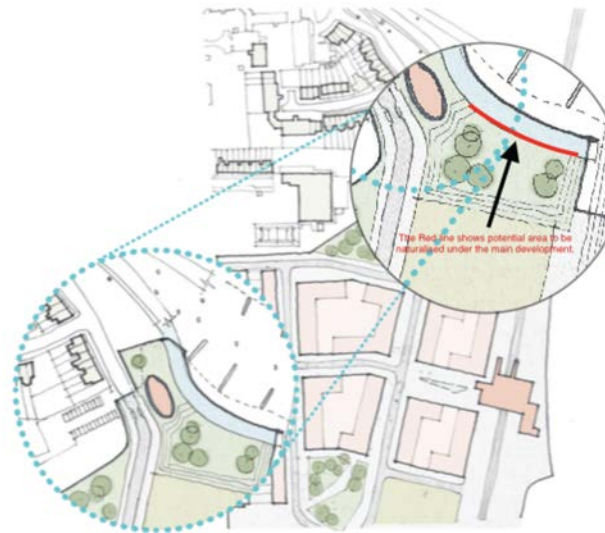


Figure 6: Area to be naturalised under Phase 1 of Meridian Water

- 6.37 It is acknowledged that the wider Meridian Water Phase 1 landscape proposals have not been fully developed. There is uncertainty around land acquisition and highway design and maintenance arrangements and therefore the landscape proposals for the application site cannot be fully developed. To allow the PRS to be delivered independently of phase 1 of Meridian Water and to ensure that the landscaping and public realm on the site is appropriately integrated with the wider phase, an interim solution for the landscape has been produced and the final landscape design will be agreed through reserved matters/ discharge of condition applications through the outline planning permission.
- 6.38 Possible future landscaping and access scenarios have been included within the Design and Access Statement that was submitted with the planning application. The scenarios show how the landscaping within the application site would sit within the wider context of Meridian Water in terms of landscaping and open space and that the proposal could be developed and delivered in line with phase 1 of the Meridian Water scheme (see figures 3 – 5).
- 6.39 The area to the north of the site is unregistered land and was not included in the red line of the outline planning application boundary and therefore the land would not be covered by the planning conditions attached to the outline planning permission. Although the illustrative proposals show that the area will be landscaped, the area does not form part of the application site under the PRS

scheme or the phase 1 permission and therefore there is no certainty with the delivery of this landscaping unless the land is acquired.

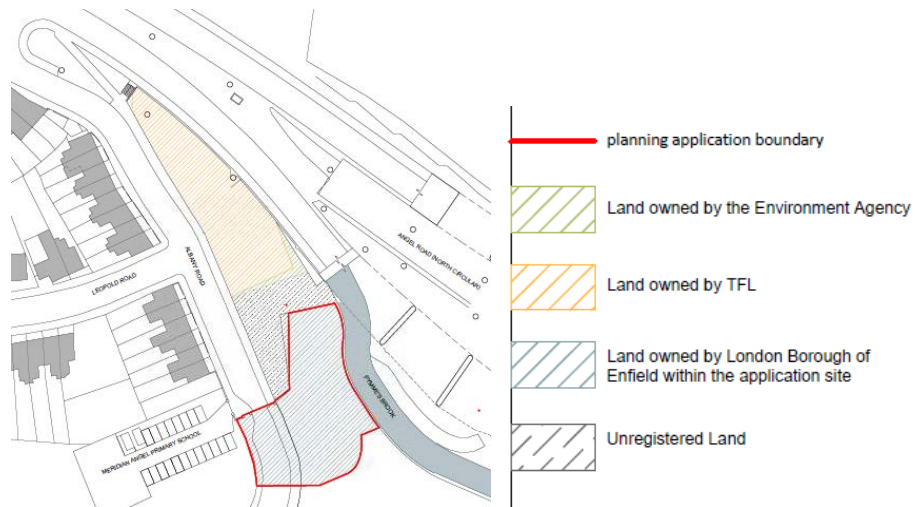


Figure 7: Landownership boundaries

- 6.40 The Tree Officer was consulted on the application and raised no objection because although there is a lack of adequate landscaping including tree planting, the proposal is a short term scheme and further landscaping of the site will occur when the Meridian Water development is further advanced.
- 6.41 The Planning Statement sets out that the Environmental Statement submitted with the outline planning consent found that the application site which is largely devoid of vegetation and thus the potential for biodiversity is low.
- 6.42 Conditions would be attached to any grant of planning permission to ensure that the proposal enhances landscaping and biodiversity across the site.

Public Open Space

- 6.43 Policy CP34 of the Core Strategy seeks to protect and enhance existing open spaces and seek opportunities to improve the provision of good quality and accessible open space. The policy requires the provision of new open space at Central Leaside as part of the regeneration of Meridian Water. Policy DMD72 of the DMD requires all new major residential development must be accompanied by proposals to improve open space provision.

- 6.44 Phase 1 of the Meridian Water site was assessed against these policies and the application site was proposed to form part of an open space. Although the site is not in an area with a deficiency of open space, the outline permission secures a minimum of 0.95ha of public open space to be delivered in the form of 6 spaces, made up of the Northern Community Park; the Southern Community Park; the Brook Community Park, adjacent to Pymmes Brook; the Western Station Square; the Eastern Station Square; and a local play space to the rear of Kimberley Road. The outline planning permission would also include the provision of 0.43 hectares of informal and formal public play space.
- 6.45 The open space to be delivered under phase 1 falls below the borough standard which suggests a requirement for 4.08 hectares of public park. The proposal would result in a further loss of open space. However as discussed previously in this report this site was considered to be the optimum site to relocate the PRS. It should also be noted that the PRS compound would have an area that would measure approximately 250 square metres and the remaining area of the application site would consist of soft landscaping. In the future the site will integrate with the wider site and contribute to creating a green network across the Meridian Water site. As set out in the committee report for the outline planning permission an increase in open space at the expense of residential development would make the development unviable and therefore the level of provision is considered acceptable. The role of the open space in providing east-west linkages to existing residential areas in Kimberley Road and via the proposed Causeway to the Lee Valley Regional Park to the east are also recognised.

Contamination, noise and air quality

- 6.46 Policy DMD64 sets out that planning permission will only be permitted if pollution and the risk of pollution is prevented, or minimised and mitigated during all phases of development.
- 6.47 A noise assessment was submitted with the application. The closest existing and proposed sensitive receptors were identified as Albany Road residents and the proposed Meridian Water development. The document concluded that the proposed PRS facility would have a negligible impact on the noise environment at the existing and future receptors and no mitigation measures will be required. The proposals are therefore considered suitable for the existing environment.

- 6.48 The application site was a former gas works and has been subject to a separate remediation application which provides the strategy for remediating the application site (as part of a wider remediated area). The planning application for the remediation work has been approved and is under implementation. In addition, the outline planning permission for Meridian Water Phase 1 undertook an assessment of contamination on the application site, and set out the additional remediation that would be required to make the site fit for occupation as a residential scheme. A series of conditions were attached to the consent which cover the application site and several conditions relating to remediation will need to be attached to any permission.
- 6.49 The Environmental Health Officer was consulted and raised no concerns with the scheme as there is unlikely to be a negative environmental impact and in particular there are no concerns regarding air quality, noise or contaminated land. The Environment Agency were also consulted on the scheme and did not raise any concerns on environmental issues. The acoustic report adequately demonstrates that the pressure reduction station will not negatively impact upon nearby residential properties.

Impact on Meridian Water Phase 1

- 6.50 The timescale for the commencement of the residential development on the main site is still not known, although works are underway on the delivery of the new station. However, this is a standalone application and the intention is to start works on the relocation of the existing PRS and the construction of the new facility from April 2018. Consequently relevant conditions will be attached to the permission that are in line with the outline planning permission to ensure that the site does not undermine future strategies on the main site. The main site conditions and obligations will apply to the PRS site. The phase 1 Meridian Water S106 will therefore need to be amended to include reference to the PRS site and the planning permission once granted but recognising that site-wide obligations will also apply to this application site. It should be noted that whilst a draft S106 was agreed and appended to the outline planning permission, the agreement could not be signed as the developer was not in place and this remains the case. The wording of condition 2 of the outline planning permission requires an agreement in broadly the same form i.e. the legal interests in the land shall be bound under the S106 agreement.
- 6.51 The detailed wording of all the required conditions has not yet been fixed although the issues to be addressed by condition have been highlighted throughout this

report and are summarised below. In this regard, Members are being asked in considering the officer recommendation to grant planning permission and to also grant delegated authority to officers to agree the final wording for these conditions.

CIL

- 6.52 There would not be an increase in floor space that would exceed 100 square metres and therefore the scheme is not liable to the Mayoral or Enfield CIL.

7.0 Conclusion

- 7.1 The application site is located within Phase 1 of the Meridian Water redevelopment. Although there would be a reduction in size of the Pymmes Brook buffer zone and a reduction in size of open space, the application site is the optimum site to relocate the PRS. The relocation of the PRS from the south of the phase 1 Meridian Water site to the north is important to the delivery of phase 1 and the wider Meridian Water site. The relocation of the PRS will assist with Meridian Water phase 1 site being developed in a more comprehensive way and in particular facilitate the construction of the main access into the site from Leaside Road. The relocation of the PRS would also provide an opportunity to introduce a more effective use of the land to the south and develop the site in the future as part of the wider Meridian Water masterplan.
- 7.2 The proposal has been appropriately designed to make a positive contribution to the surrounding area both now and in the future. There is still some uncertainty around land acquisition and highway design and therefore the landscape proposals and maintenance access arrangements for the application site cannot be fully developed. To allow the PRS to be delivered independently of phase 1 of Meridian Water and to ensure that the landscaping and public realm on the site is appropriately integrated with the wider phase, an interim solution for the landscape and maintenance access has been produced and the final landscape design and Albany Road access arrangements will be agreed through reserved matters/discharge of condition applications through the outline planning permission. With the attachment of appropriate conditions the proposal would not undermine the future strategies of the main site of phase 1 of the Meridian Water site.

8.0 Recommendation

That, PLANNING PERMISSION BE GRANTED in accordance with Regulation 3 and 4 of the Town and Country Planning General regulations 1992 subject to conditions.

1. Time limit
2. Plans
3. No demolition, construction or maintenance activities
4. Construction Environmental Management Plan and Code of Construction Practice
5. Construction and Logistics Plan, including a Construction Waste Management Plan
6. Contamination risk assessment and remediation strategy
7. Verification report – contamination
8. Unidentified contamination
9. Surface water, infiltration and drainage management plan
10. Verification Report – drainage
11. Samples of all external finishing materials
12. Sample of anti-graffiti coating
13. Details of any signage to be provided on external façade, including details of size, type, materials and colour palette, and fixings
14. Archaeology - Written scheme of investigation (WSI)
15. External lighting
16. Noise report
17. Plan for management and maintenance of landscaped areas
18. Bat roost and badger checks
19. Shrub removal
20. Eradication strategy for invasive species
21. CCTV provision details
22. PD rights removal - no external telecommunications equipment or infrastructure shall be erected
23. Vehicles shall not access the site during the Meridian Angel Primary School pick up/ drop off times.
24. Vehicular use of the access gates limited to emergency vehicles and those servicing the PRS
25. Any gates onto the public highway must open inwards and any vehicles should, as far as possible, not obstruct users of the public highway.
26. Environment Agency condition/s
27. Future changes to Albany Road access, enclosure and landscaping
28. Temporary enclosure and landscape details

General Notes

Notes

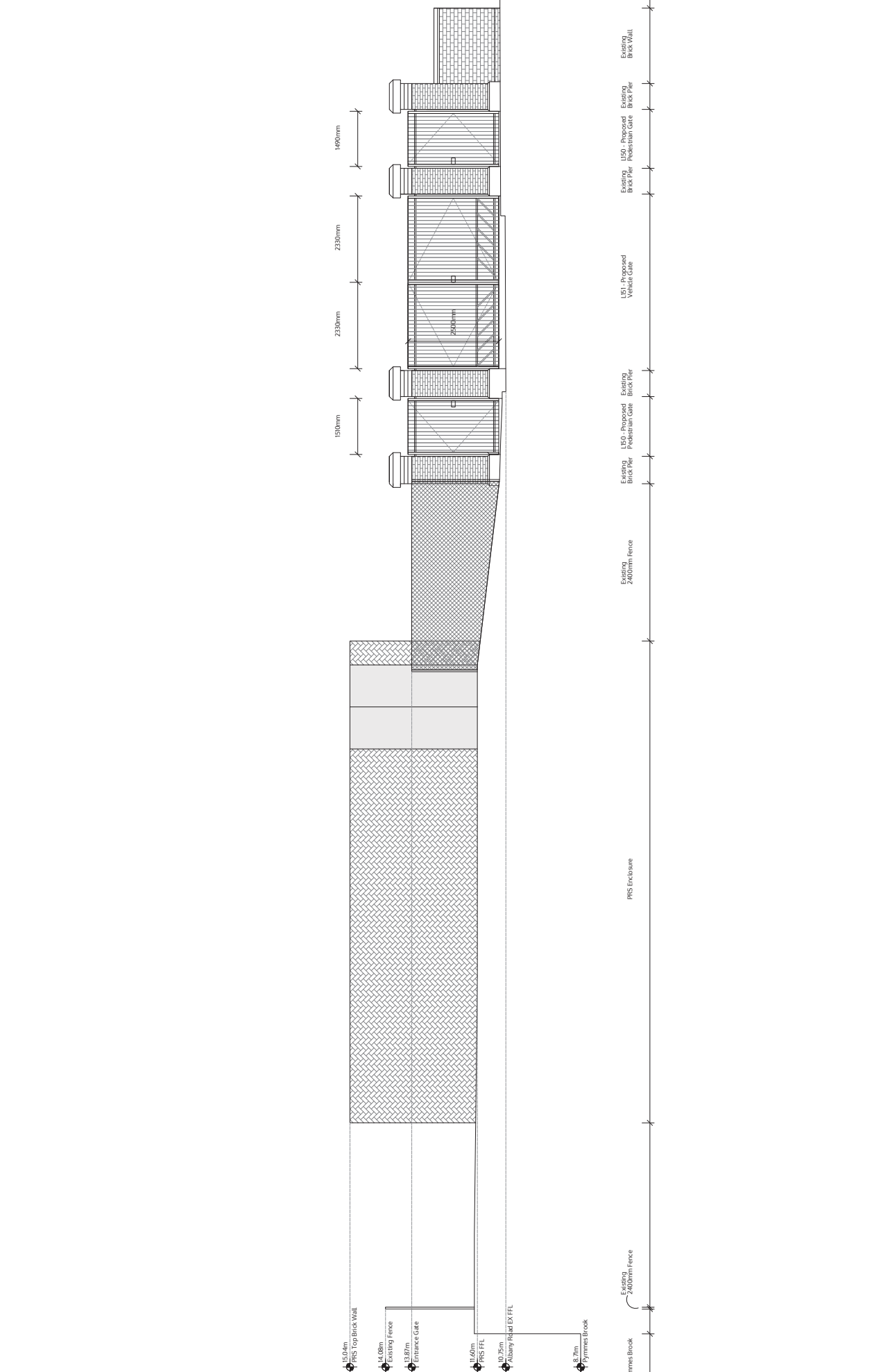
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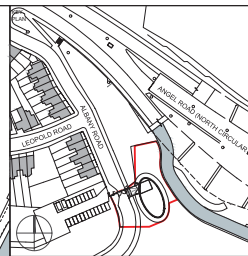
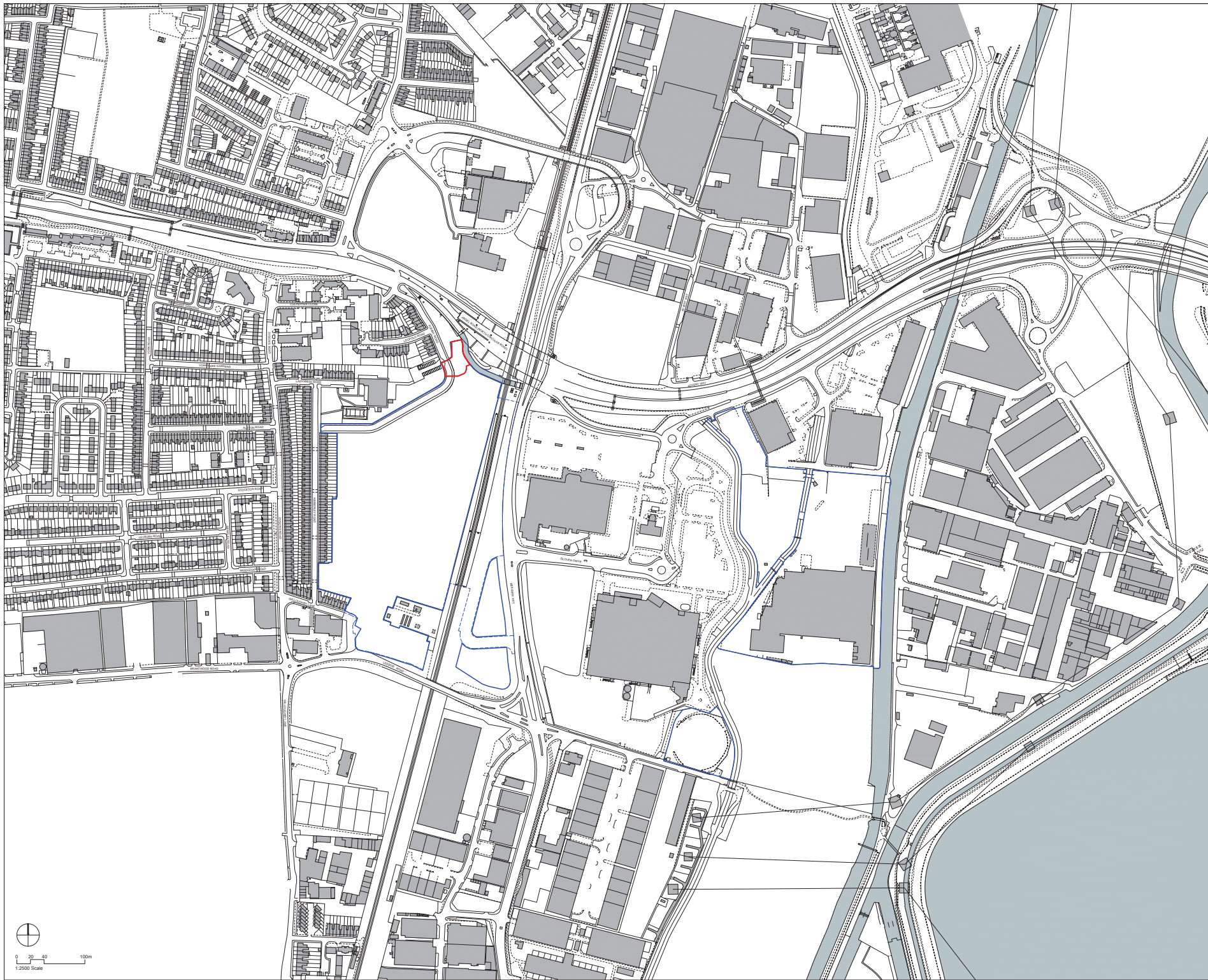


Periscope	
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Project	Meridian Water PPS
Drawing Title	Entrance Gates Elevation
Project Number	0038
Status	PLANNING
Date	04.10.2017
Scale	1:50
Drawn by	CP
Checked by	
Project Number	0038-PPS-ZZ-01b-1:500
Revision	01

Site plan showing the location of the PPS site during this interim phase



15.0m	PPS Top Brick Wall
14.08m	Existing Fence
13.87m	Entrance Gate
11.60m	PPS FFL
10.75m	Albany Road EX FFL
5.7m	Pymmes Brook
Existing 240mm Fence	
PPS Enclosure	
Existing Brick Pier	
L60 - Proposed Pedestrian Gate	
Existing Brick Pier	
L51 - Proposed Vehicle Gate	
Existing Brick Pier	
L50 - Proposed Pedestrian Gate	
Existing Brick Pier	
Existing Brick Wall	



London Borough of Enfield

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- NOTES
- planning application boundary
 - Land outside the application but within the ownership of the applicant
 - - - Boundary of Meridian Water Phase 1 Consented Outline Planning Permission

01	Issued for Planning	16/11/2017
00	Issued for Draft Planning	14/11/2017
Rev	Reason for Issue	Date

Karakusevic Carson Architects
 Unit 205
 The Phoenix Factory
 100 Wood Lane
 London E15 2JF
 www.karakusevic-carson.com | 0207 266 4800

PROJECT
 Meridian Water , Pressure Reduction Station
 Enfield
 London N18 2DX

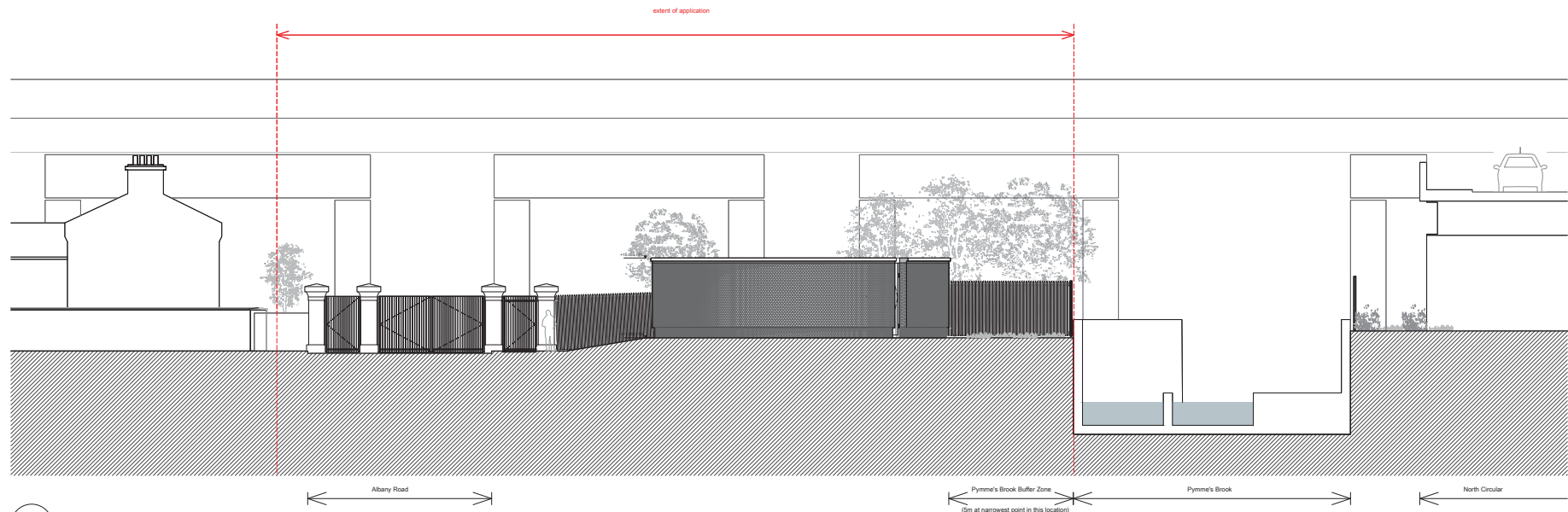
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DRAWING NUMBER
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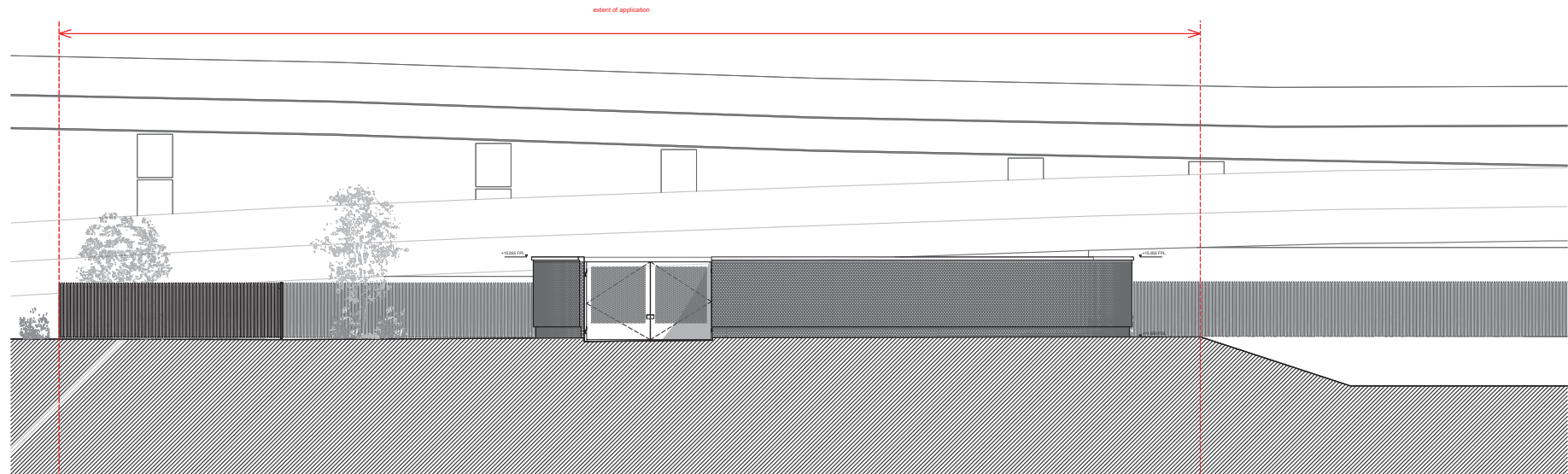
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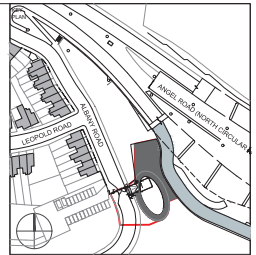
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16/11/2017	RB	1:2500 @ A1
FIRST ISSUED	CHECKED BY	PROJECT NUMBER
14/11/2017	EB	340



D-01 South Elevation
300-01 1:100 @ A1



D-02 West Elevation
300-01 1:100 @ A1



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00	Issued for Draft Planning	14/11/2017

No.	Revised to	Date
01	Issued for Planning	16/11/2017
00	Issued for Draft Planning	14/11/2017

Karakusevic Carson Architects
Unit 305
The Old Bank Building
100 Abchurch Lane
London EC4N 3DF
www.kca.co.uk | 0207 266 4800

PROJECT
Meridian Water , Pressure Reduction Station
Enfield
London N18 2DX

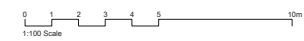
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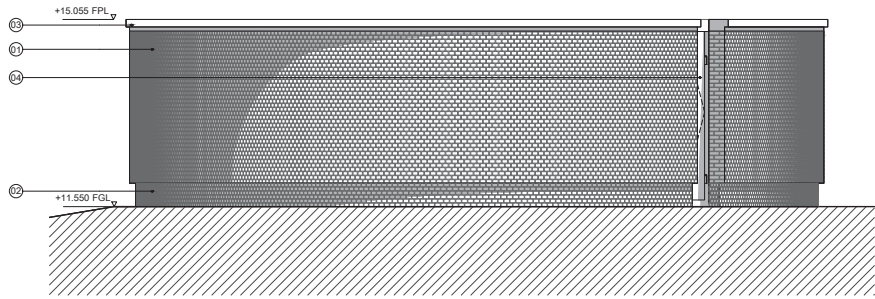
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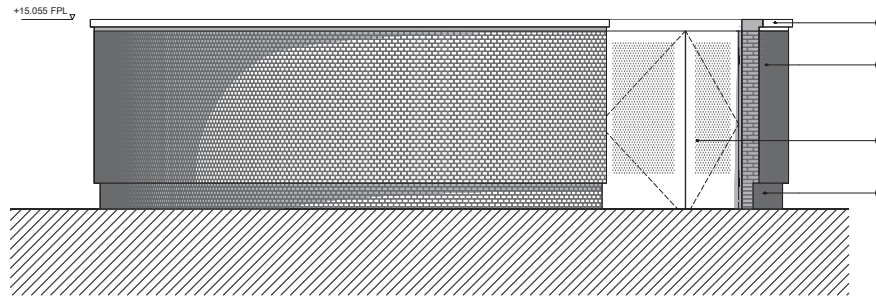
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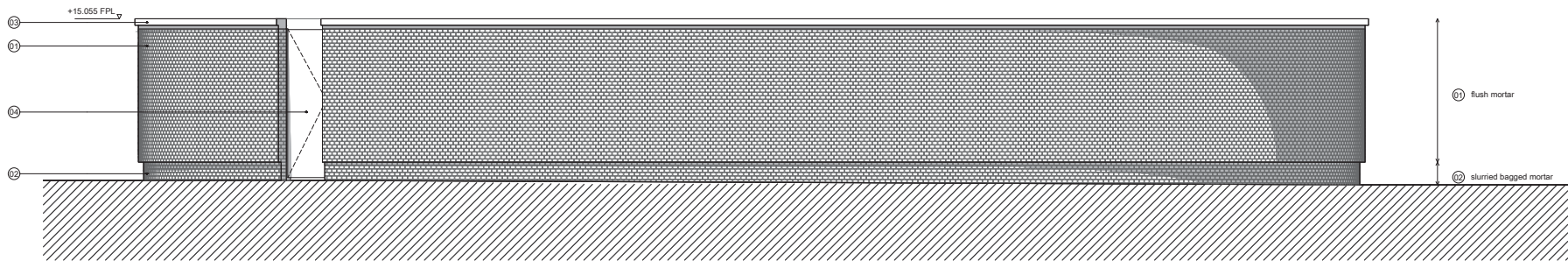




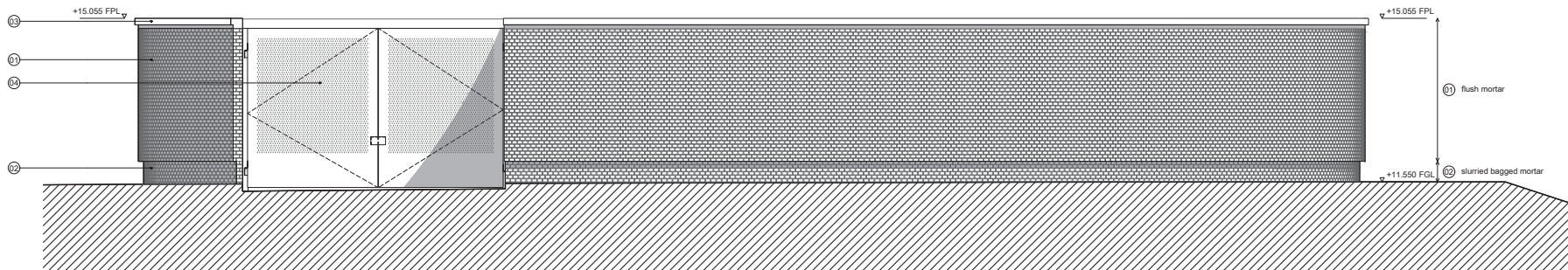
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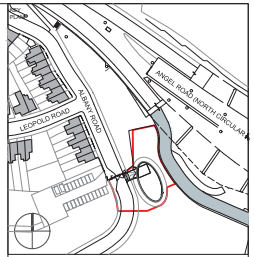
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D-03 East Elevation
300-01 1:100 @ A1



D-03 West Elevation
300-01 1:100 @ A1



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01	Issued for Planning 16/11/2017
00	Issued for Draft Planning 14/11/2017
Rev	Reason for Issue Date

Karakusevic Carson Architects
 Ltd
 The Phoenix Property
 185-187 Victoria Road
 London E14 4DE
 www.karakusevic-carson.com 0207 246 4900

PROJECT
Meridian Water , Pressure Reduction Station
Enfield
London N18 2DX

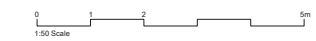
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Proposed Elevations

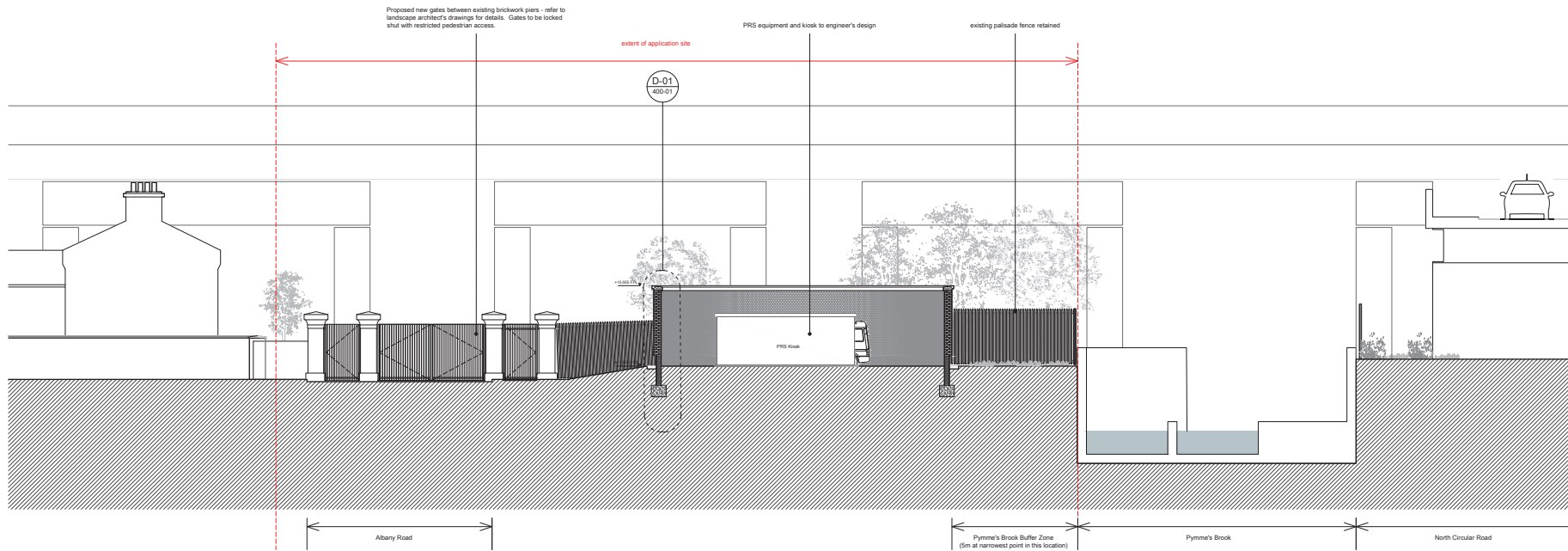
MATERIALS

- 01 Grey Facing Brickwork: Petersen D91 UK format in header bond 327.5mm thick. Flush mortar to match brickwork. Brick sample panel to be constructed and approved by Client and Local Planning Authority.
- 02 Grey Facing Brickwork: Petersen D91 UK format in header bond set back half brick to form recess (102.5mm). Mortar to match brickwork with slurried bagged finish.
- 03 Wet Cast acid etch finish portland cement stone coping with integrated drip and projection to both sides. Coping pieces to be formed in curved sections to curve of ellipse arc. Mortar to match copings.
- 04 Polyester powder coated steel gates with ppc perforated facing panel, hasp and staple fasteners to be concealed behind ppc steel box housing.

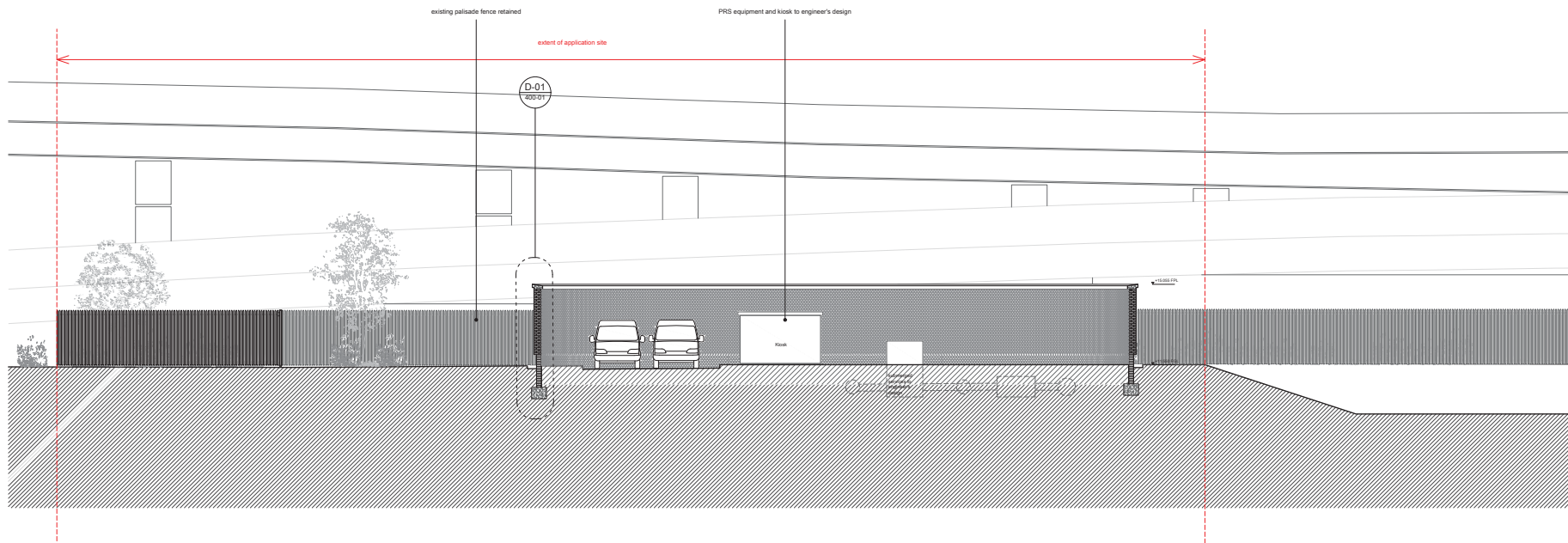
NOTES

1. Invisible proprietary anti graffiti coating to be applied to brickwork. Sample to be approved by Client and Local Planning Authority.
2. Movement joints in brickwork to be avoided through use of lime mortar/ bed joint reinforcement.

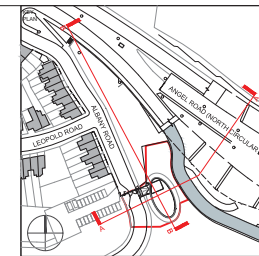
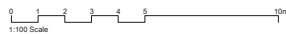




D-01 Proposed East West Section AA
200-01 1:100 @ A1



D-02 Proposed North South Section BB
200-01 1:100 @ A1



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NOTES
INDICATIVE SITE BOUNDARY

Rev	Description	Date
01	Issued for Planning	16/11/2017
00	Issued for Draft Planning	14/11/2017

Karakusevic Carson Architects
Unit 305
The Pinnac Building
100 Broad Street
London EC2A 4DF
www.karakusevic-carson.com | 0207 844 4800

PROJECT
Meridian Water, Pressure Reduction Station
Enfield
London N18 2DX

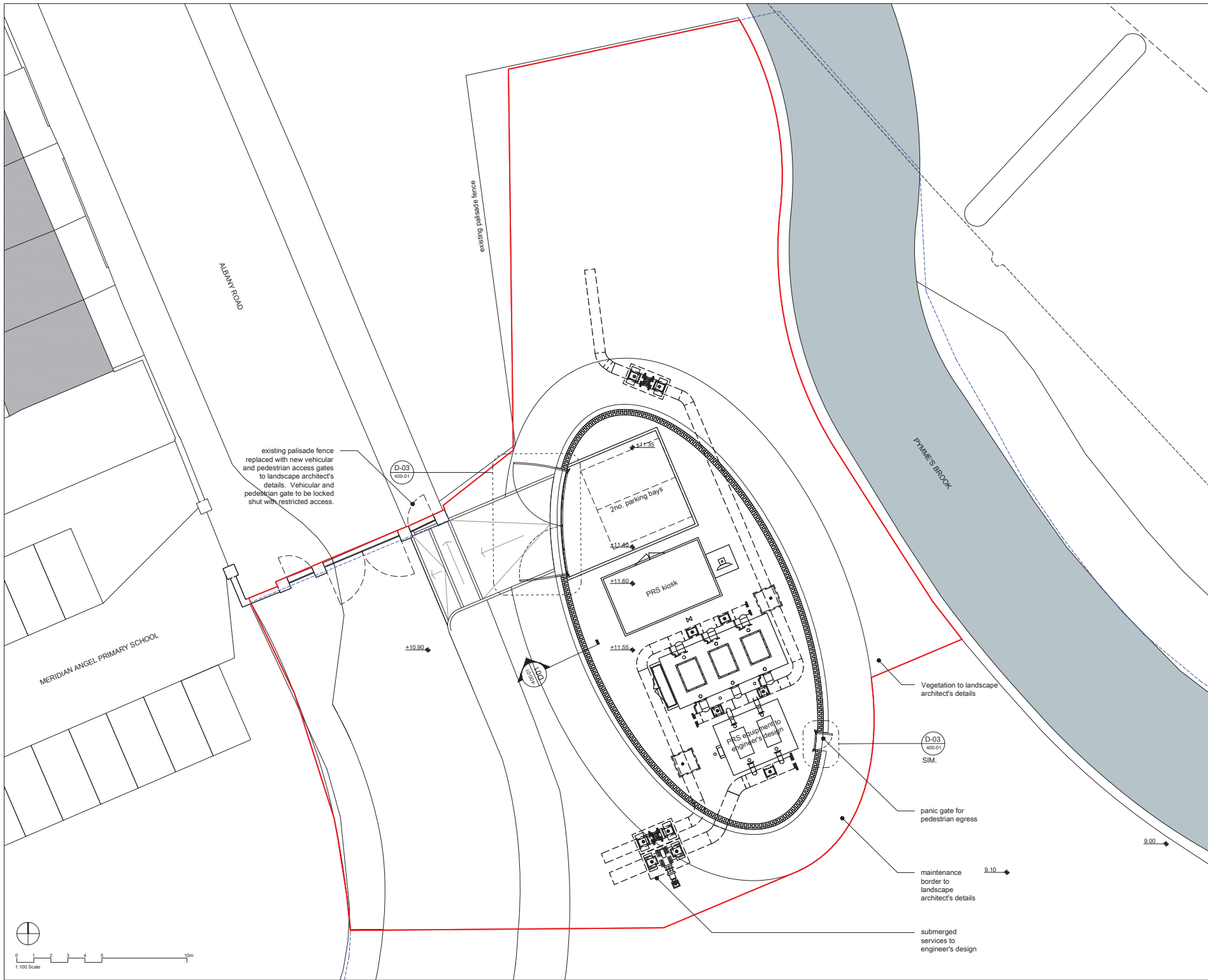
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DRAWING NUMBER	REVISION
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STATUS
FOR APPROVAL

REVISION DATE	DRAWN BY	SCALE
16/11/2017	RB	1/100 @ A1

DATE ISSUED	CHECKED BY	PROJECT NUMBER
14/11/2017	EB	340



existing palisade fence replaced with new vehicular and pedestrian access gates to landscape architect's details. Vehicular and pedestrian gate to be locked shut with restricted access.

D-03
400-01

+10.50

100°

+11.35

+11.40

+11.60

+11.55

Vegetation to landscape architect's details

D-03
400-01
SIM.

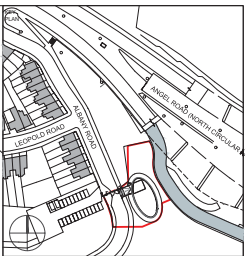
panic gate for pedestrian egress

maintenance border to landscape architect's details

9.10

submerged services to engineer's design

9.00



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THE INSTALLATION SERVICES ARE SHOWN INDICATIVELY ONLY AND ARE TO RUSH NATIONAL GRID DESIGN.
ACCESS AND LEVELS DESIGN ARE SHOWN INDICATIVELY ONLY AND ARE THE RESPONSIBILITY OF CIVIL / LANDSCAPE DESIGN.

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NOTES
— planning application boundary

01	Issued for Planning	16/11/2017
00	Issued for Draft Planning	14/11/2017
Rev	Reason for issue	Date

Karakusevic Carson Architects
 4th Floor
 The Phoenix Primary
 180-182 Albany Road
 London N18 2DX
 www.kca.co.uk | 0203 946 4800

PROJECT
Meridian Water , Pressure Reduction Station
Enfield
London N18 2DX

TITLE
Proposed Site Layout Plan

DRAWING NUMBER 340-A-P-100-01	REVISION 01	
STATUS FOR APPROVAL		
REVISION DATE 16/11/2017	DRAWN BY RB	SCALE 1/100 @ A1
DATE ISSUED 14/11/2017	CHECKED BY EB	PROJECT NUMBER 340

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LONDON BOROUGH OF ENFIELD

PLANNING COMMITTEE

Date: 23rd January 2018

Report of

Assistant Director, Regeneration
& Planning

Contact Officer:

Andy Higham
Sharon Davidson
Ms Marina Lai
Tel No: 0208 379 4944

Ward:

Edmonton Green

Application Number: 17/02695/RE4

Category: LBE - Development by LA

LOCATION: Leicester House, 17 Cavendish Close, London, N18 2LP

PROPOSAL: Change of use of existing store and walkway to 1 x studio flat with private amenity space.

Applicant Name & Address:

Mr Paul Hermant
Enfield Council (Major Works Team)
36-44 South Mall
Edmonton

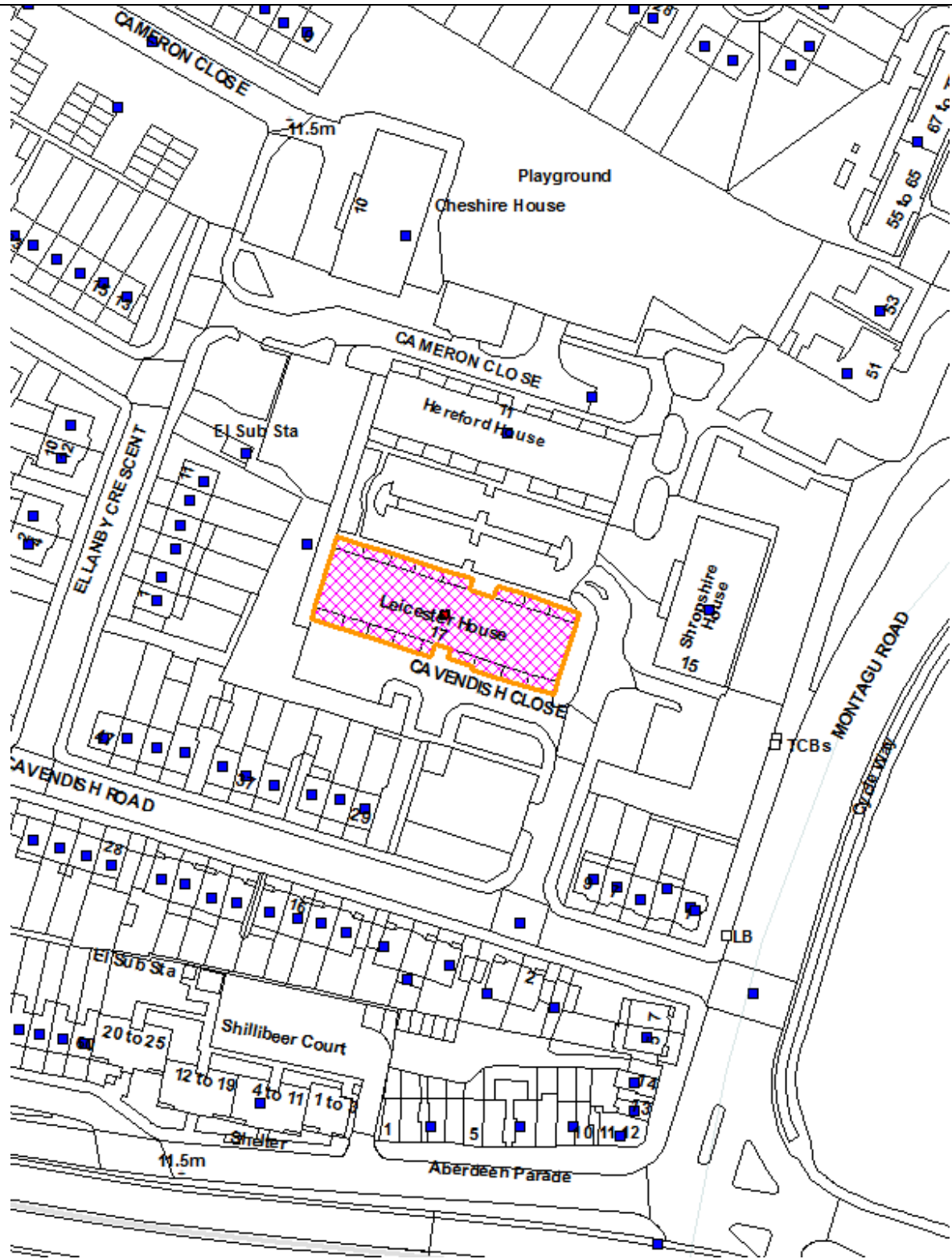
Agent Name & Address:

Mr Luca Speroni
Philip Pank Partnership
Quantum House
113 Euston Street

RECOMMENDATION: That planning permission be **GRANTED** subject to conditions.

Notes to members: The proposal is council-owned development.

Ref: 17/02695/RE4 LOCATION: Leicester House, 17 Cavendish Close, London, N18 2LP



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Scale 1:1250

North



1. Site and Surroundings

- 1.1. Leicester House is a 1960s eight storey, residential building comprising 40 tenanted and leaseholder owned properties. The block is located in the south east of the Borough of Enfield and situated in close proximity to Angel Road railway station. The site is accessed from Ellanby Crescent via Craig Park Road and Cavendish Road.
- 1.2. Leicester House underwent a major conversion project in the 1990s whereby the existing multi-story carpark, situated between the subject building and Hereford House (a similar block, located to the north) was demolished in order to provide additional accommodation on the ground and first floor levels. The block now comprises a mixture of flats (ground and first floor properties), maisonettes (upper floor properties), service and storage areas, arranged around one fire escape stair core/lift shaft, situated in the centre of the building.
- 1.3. The part of the building subject of this application is a caretakers store and side walkway to another communal access way. It forms an area of approximately 38 to 39 sqm relatively central to the building on the ground floor level.
- 1.4. The site is neither located in a Conservation Area and nor is Listed. The surrounding area is predominantly residential made up of residential blocks of flats such and two storey terraced house in the outlying streets.

2. Proposal

- 2.1. The application proposes the conversion of the existing caretaker's storeroom and side access walkway into a studio flat 38sqm in area. It also proposes to install new doors and windows on the elevation and also proposes to enclose the entrance way at the front as a private amenity space in a similar manner to the adjacent flats on either side.
- 2.2. The existing communal stairs and lobby area to the subject building would remain.

3. Relevant Planning History

- 3.1. 15/03917/RE4: Planning permission was approved for external improvement works to replace existing roof covering, waterproofing system to all walkways and balconies, replacement rainwater goods, balcony balustrading/vertical screens/doors, fire escape, windows, lighting, extractor fans, provision of bird netting/spikes, repairs to paving, fencing, masonry, concrete surfaces, fire escape, balustrading, redecoration of all painted surfaces.

4. Consultation

Public Consultations

- 4.1. 40 x neighbouring properties were notified of the proposed development by letters. No comments were received.

Internal

- 4.2. Traffic and Transportation - The Team raised no objections to the proposal, subject to conditions.

External

- 4.3. None

5. Relevant Policy

5.1. Core Strategy

CP2: Housing Supply and Locations for New Homes

CP4: Housing quality

CP22: Delivering sustainable waste management

CP24: The road network

CP25: Pedestrians and cyclists

CP30: Maintaining and improving the quality of the built and open environment

CP46: Infrastructure contributions

5.2. Development Management Document

DMD6: Residential Character

DMD8: General Standards for New Residential Development

DMD9: Amenity Space

DMD10: Distancing

DMD37: Achieving High Quality and Design-Led Development

DMD 38: Design process

DMD 45: Parking Standards and Layout

DMD47: New Roads, Access and Servicing

DMD49: Sustainable Design and Construction Statements

DMD51: Energy Efficiency Standards

5.3. London Plan (2015)

Policy 3.3: Increasing housing supply

Policy 5.3: Sustainable design and construction

Policy 6.9: Cycling

Policy 6.13: Parking

Policy 7.3: Designing out crime

Policy 7.4: Local character

Policy 7.5: Public realm

Policy 7.6: Architecture

Policy 8.2: Planning obligations

5.4. Other Relevant Policy

National Planning Policy Framework

5.5. Other Material Considerations

The Mayors Housing SPG (2012)

Enfield Strategic Housing Market Assessment (2010)

Nationally Described Space Standards (NDSS)

Waste and Recycling Storage Planning Guidance

6. Main Issues to be Considered

6.1. The main issues to be considered in respect of this application are:

- Principle of the development in terms of land use;
- Impact on neighbouring amenity;
- Quality of accommodation, including amenity provisions; and
- Traffic, parking and servicing issues.

7. Analysis

Principle of Development

6.2. The application building is located within a residential block in a wholly residential area. The proposed residential use at this location is considered appropriate to its local context and would provide for additional residential accommodation in the borough. Therefore the proposed development is considered acceptable in principle.

6.3. With regards to the resulting loss of the existing storeroom and walkway, the existing storage room has been examined on site and appeared relatively dilapidated. The submitted Design and Access Statement states that the store has been much underused and has been subject to a lot of vandalism and damage recently. All this information has been taken into account and it is considered on balance the use of the storeroom and side walkway would be more suitable and in keeping with the ground floor level of the building as a residential flat. The use incorporating the proposed design changes would improve the appearance of this section of the building and overall it is considered it should be supported.

Design and impact on the character of the immediate surrounding

6.4. Policy DMD 37 aims to ensure that high standards of design are taken into consideration, with reference to the boundary treatment of the property, the use of materials and the proposals siting, layout, alignment, spacing, height, bulk and massing. In addition Policy 7.4 of the London Plan and DMD 6 states that developments should have regard to the form, function and structure of an area and the scale mass and orientation of surrounding buildings.

6.5. There are existing residential flats at ground floor level on either side with windows and doorways and small rear amenity areas all of which consist of a standard pattern to the elevation at ground floor level. The proposed conversion would match the fenestrations of the other ground floor flats on either side. In addition the enclosure of the part of the access way to the existing store will also improve the appearance and create a consistent boundary treatment across the full length of Leicester House at ground level.

6.6. Given the design, scale and massing, the proposed development is considered appropriate to its local context and would enhance the local character.

Impact on Neighbouring Amenity

- 6.7. DMD 6 and 8 seek to ensure that residential developments do not prejudice the amenities enjoyed by the occupiers of neighbouring residential properties in terms of privacy, overlooking and general sense of encroachment. In addition Policies 7.4 of the London Plan and CP30 of the Local Plan seek to ensure that new developments have appropriate regard to their surroundings, and that they improve the environment in terms of visual and residential amenity.
- 6.8. The proposal would only involve the minor external changes to the existing ground floor doors and windows of the subject building, none of which would have an impact on neighbouring residential amenity.
- 6.9. In addition it is considered that the use of the storeroom as a residential flat would be more in keeping to surrounding neighbours especially as the storeroom has been subject to vandalism and anti-social behaviour.
- 6.10. In light with the above assessment, the proposed development would have an acceptable impact on the neighbouring amenity to the adjoining occupiers.

Quality of Accommodation

- 6.11. Policy DMD 8 of the Development Management Document, Policy 3.5 of the London Plan and the London Housing SPG seek to ensure that new residential development is of a high quality standard internally, externally and in relation to their context. Policy 3.5 of London Plan specifically sets out the standards on minimum gross internal area (GIA) for different dwelling types.
- 6.12. DMD 9 (Amenity Space) requires that new residential development must provide quality private amenity space that is not significantly overlooked by surrounding development and meets or exceeds the minimum standards of 50sqm for dwelling house.
- 6.13. The application is proposed as a studio flat with a gross internal area of 38.2sqm. The layout would consist of a separate kitchen, store area and shower-room with an open plan living sleeping area. The National and London Plan standards specify that this should be a minimum of 37sqm. Therefore the proposal is compliant internally.
- 6.14. To the front of the flat a private amenity area approximately 12sqm will be provided with a low level boundary wall and railing 1m high with a pedestrian access way. This will provide for a sufficient level of amenity space for this small studio flat and also double up as defensible space from the public highway and parking area adjacent. It is noted that the amenity area with the low level boundary area would not be particularly private. However this will match in with the other private amenity areas adjacent on this section of the building and on balance for a 1 person studio flat the amenity space is still very usable and functional.
- 6.15. In conclusion, the proposal provides an acceptable standard of accommodation for a 1 person studio flat having regard to National and London Plan standards.

Transport Impact

- 6.16. The council's traffic and transportation department raised no objections to the proposal, as the proposal for 1 studio unit for 1 person is unlikely to create a significant level of trips to the site or have a noticeable impact onto car parking stress in the area.
- 6.17. Future occupants could avail of the communal refuse storage for the apartment block. Transport officers have requested cycle parking for 2 cycles be provided. It is considered that this could be secured via condition.
- 6.18. Subject to this condition for details of cycle parking, there are no objections to the application from a highways perspective.

Planning Obligation

S106 Contributions

- 6.19. The proposal would result in the creation of less than 10 units, or 1000sqm, and therefore the S106 contributions are not required.

CIL

- 6.20. The proposal would result in the creation of additional units, and therefore would be Mayor CIL and Enfield CIL liable.

7. Conclusion

- 7.1. It is concluded that the proposed redevelopment of the site would not adversely impact on the character and setting of the surrounding, and would provide a good quality of accommodation to future occupiers while providing additional housing to the borough. The scheme would not create an adverse impact to the neighbouring amenity or unacceptable impact to highway function and safety.

8. Recommendation

- 8.1. As such, approval is recommended, subject to conditions.

Recommended Conditions:

Time Limited Permission

1. The development to which this permission relates must be begun not later than the expiration of three years beginning with the date of the decision notice.

Reason: To comply with the provisions of S.51 of the Planning & Compulsory Purchase Act 2004.

Approved Plans

2. The development hereby permitted shall be carried out in accordance with the following approved plans:

Site Location Plan; 16-123-LHPA/02; 16-123-LHPA/03 Rev. A; 16-123-LHPA/04; 16-LHPA/05;

Reason: For the avoidance of doubt and in the interests of proper planning.

Materials to Match

3. The external finishing materials shall match those used in the construction of the existing building and boundary treatments.

Reason: To ensure a satisfactory external appearance.

No Additional Fenestration

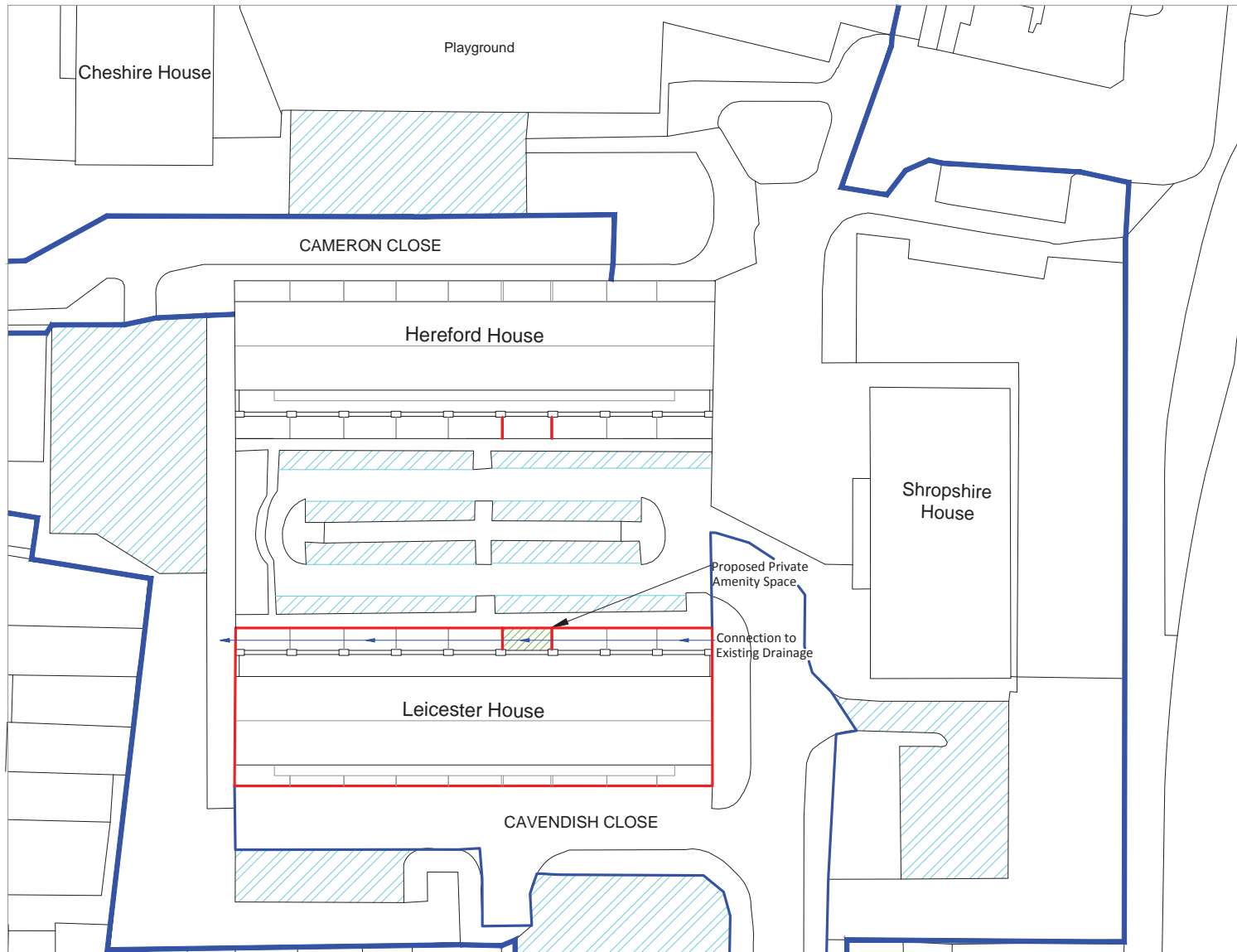
4. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995, or any amending Order, no external windows or doors other than those indicated on the approved drawings shall be installed in the development hereby approved without the approval in writing of the Local Planning Authority.

Reason: To safeguard the privacy of the occupiers of adjoining properties.

Cycle Parking

5. The development hereby permitted shall not be occupied until details of the siting, number and design of 1 X long stay and 1 X short stay cycle parking spaces have been submitted to and approved in writing by the Local Planning Authority. The approved details shall thereafter be installed and permanently retained for cycle parking.

Reason: To meet London Plan requirements.



Notes:

1. The level of information in this drawing is in relation to **AN APPLICATION FOR PLANNING CONSENT**. The information shown should not be used for any other purpose (such as Building Regulations Approval, Tendering or construction) unless permission is expressly given, in writing by the client.

2. The drawings is based on Ordnance Survey data. A specialist measured survey has not been carried out on site.

5. This drawing is to be read in conjunction with the following information:

- Drawing Numbers 16-123-LHPA/01 to 04
- Planning Application
- Design & Access Statement

Legend:

- The Site
- Other land owned by the Applicant
- Designated Parking Spaces Within The Applicant's Curtilage
- Proposed Private Amenity Space

Rev	Date

Philip Pank Partnership
 Quantum House
 113 Euston Street
 London
 NW1 2EX

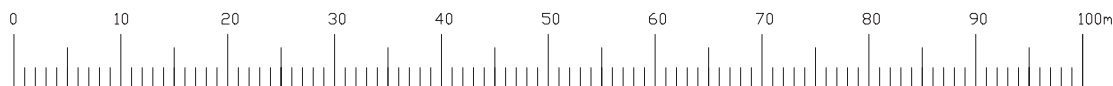
Tel: 020 7383 2859
 Fax: 020 7388 4590
 mail@philippank.com
 www.philippank.com

Client:
 Enfield Council
 Project:
 Proposed Conversion of Existing Caretaker's Store

Site:
 Leicester House
 London
 N18 2LP

Drawing:
 Site Plan

Scale 1:500 (A3)	Date 07/06/2017
Drawing No: 16-123-LHPA/02	Drawn: LS



Existing



Proposed

Garden wall & gate
omitted for clarity**Notes:**

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4. The proposal comprises a single aspect dwelling, thus other external elevations are not affected.

5. All works to be carried out in strict accordance with current Building Regulations, Local Authority requirements, codes of practice, relevant British & European Standards & manufacturers' recommendations.

6. This drawing is to be read in conjunction with the following information:

- Drawing Numbers 16-123-LHPA/01 to 04
- Planning Application
- Design & Access Statement

Rev	Date
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Philip Pank Partnership
Quantum House
113 Euston Street
London
NW1 2EX

Tel: 020 7383 2859
Fax: 020 7388 4590
mail@philippank.com
www.philippank.com

Client:

Enfield Council

Project:

Proposed Conversion of Existing Caretaker's Store

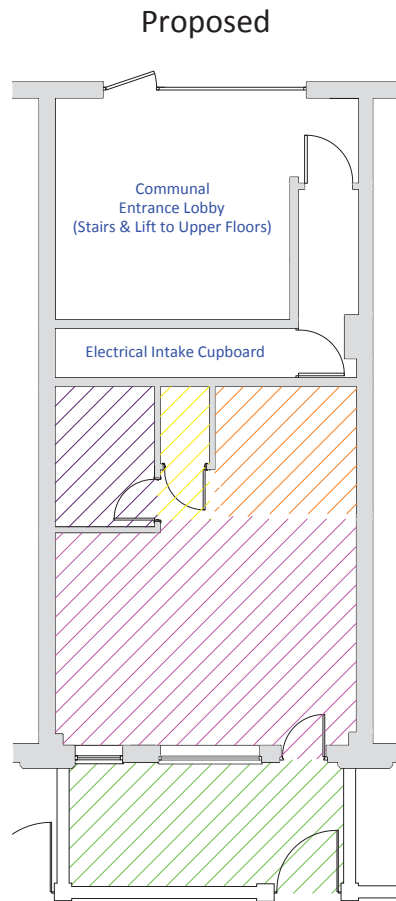
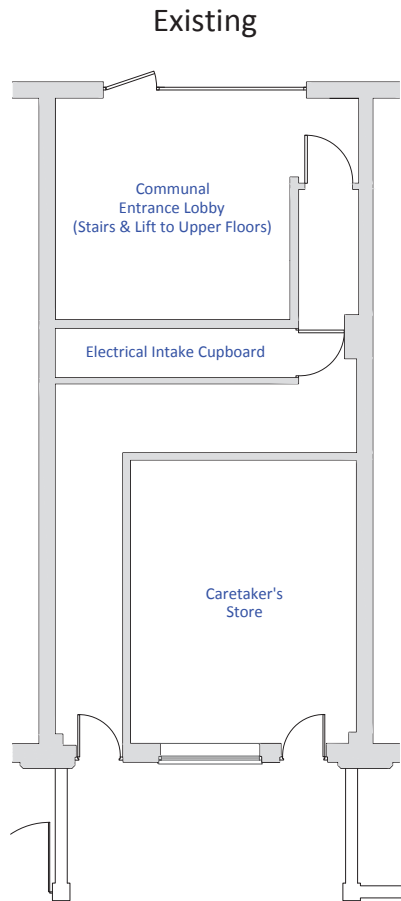
Site:

Leicester House
Cameron Close
London
N18 2LP

Drawing:

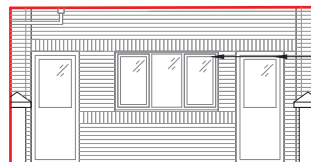
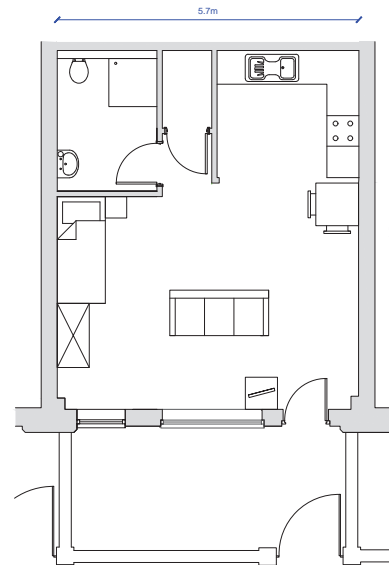
Existing & Proposed North Elevation

Scale	Date:
1:200 (A3)	14/06/2017
Drawing No:	Drawn:
16-123-LHPA/04	LS

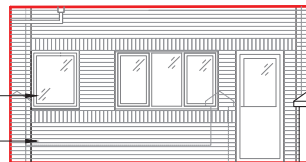


Areas	
Bathroom	4.95m
Kitchen	6.61m
Living Area	23.66m
Circulation/Storage	2.29m
Private Amenities Space	12.03m
GIA	38.19m

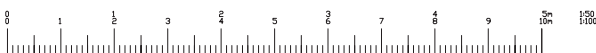
Suggested Furniture Layout



Existing door & window replaced as part of the recent external improvement works (Planning Application 15/03917/RE4)
Window inserted in existing door opening to replicate adjacent fenestration at 1A to 8A Leicester House
New brickwork to match existing



Garden wall & gate omitted for clarity



Notes:

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4. All works to be carried out in strict accordance with current Building Regulations, Local Authority requirements, codes of practice, relevant British & European Standards & manufacturers' recommendations.

5. This drawing is to be read in conjunction with the following information:

- Drawing Numbers 16-123-LHPA/01 to 04
- Planning Application
- Design & Access Statement



Rev - A

Date - 22/12/17

Philip Pank Partnership
Quantum House
113 Euston Street
London
NW1 2EX

Tel: 020 7383 2859
Fax: 020 7388 4590
mail@philippank.com
www.philippank.com

Client:

Enfield Council

Project:

Proposed Conversion of Existing Caretaker's Store

Site:

Leicester House
Cameron Close
London
N18 2LP

Drawing:

Existing & Proposed Floor Plans & Elevations

Scale:

1:100 (A3)

Drawing No:

16-123-LHPA/03

Date:

14/06/2017

Drawn:

LS



Notes:

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2. The drawings is based on Ordnance Survey data. A specialist measured survey has not been carried out on site.

5. This drawing is to be read in conjunction with the following information:

- Drawing Numbers 16-123-LHPA/01 to 04
- Planning Application
- Design & Access Statement

Legend:

- The Site
- Other land owned by the Applicant



Rev	Date
-----	------

Philip Pank Partnership
Quantum House
113 Euston Street
London
NW1 2EX

Tel: 020 7383 2859
Fax: 020 7388 4590
mail@philippank.com
www.philippank.com

Client:

Enfield Council

Project:

Proposed Conversion of Existing Caretaker's Store

Site:

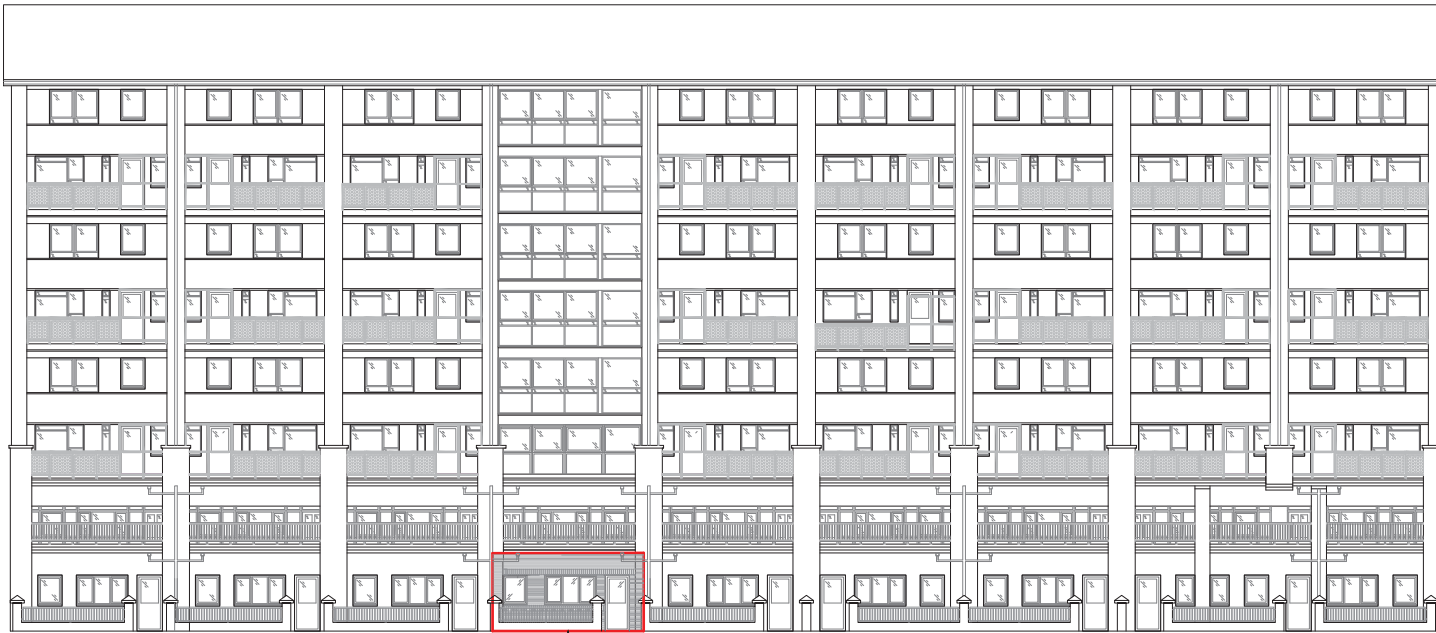
Leicester House
London
N18 2LP

Drawing:

Location Plan

Scale 1:1250 (A3)	Date: 14/06/2017
Drawing No: 16-123-LHPA/01	Drawn: LS

Proposed



Example of Garden Wall
to be Replicated

Notes:

1. The level of information in this drawing is in relation to **AN APPLICATION FOR PLANNING CONSENT**. The information shown should not be used for any other purpose (such as Building Regulations Approval, Tendering or construction) unless permission is expressly given, in writing by the client.
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4. The proposal comprises a single aspect dwelling, thus other external elevations are not affected.
5. All works to be carried out in strict accordance with current Building Regulations, Local Authority requirements, codes of practice, relevant British & European Standards & manufacturers' recommendations.
6. This drawing is to be read in conjunction with the following information:
 - Drawing Numbers 16-123-LHPA/01 to 04
 - Planning Application
 - Design & Access Statement

Page 47

Rev	Date
Philip Pank Partnership Quantum House 113 Euston Street London NW1 2EX	
Tel: 020 7383 2859 Fax: 020 7388 4590 mail@philippank.com www.philippank.com	
Client: Enfield Council	
Project: Proposed Conversion of Existing Caretaker's Store	
Site: Leicester House Cameron Close London N18 2LP	
Drawing: Additional North Elevation Drawing	
Scale 1:200 (A3)	Date: 22/06/2017
Drawing No: 16-123-LHPA/05	Drawn: LS

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LONDON BOROUGH OF ENFIELD

PLANNING COMMITTEE

Date : 23rd January 2018

Report of
Assistant Director,
Regeneration & Planning

Contact Officer:
Andy Higham
Sharon Davidson
Ms Marina Lai
Tel No: 0208 379 4944

Ward:
Winchmore Hill

Ref: 17/03283/HOU

Category: Householder

LOCATION: 3 Seaforth Gardens, London, N21 3BT

PROPOSAL: Erection of part single, part two storey rear extension and conversion of roof space with rear dormer and roof lights, providing additional accommodation

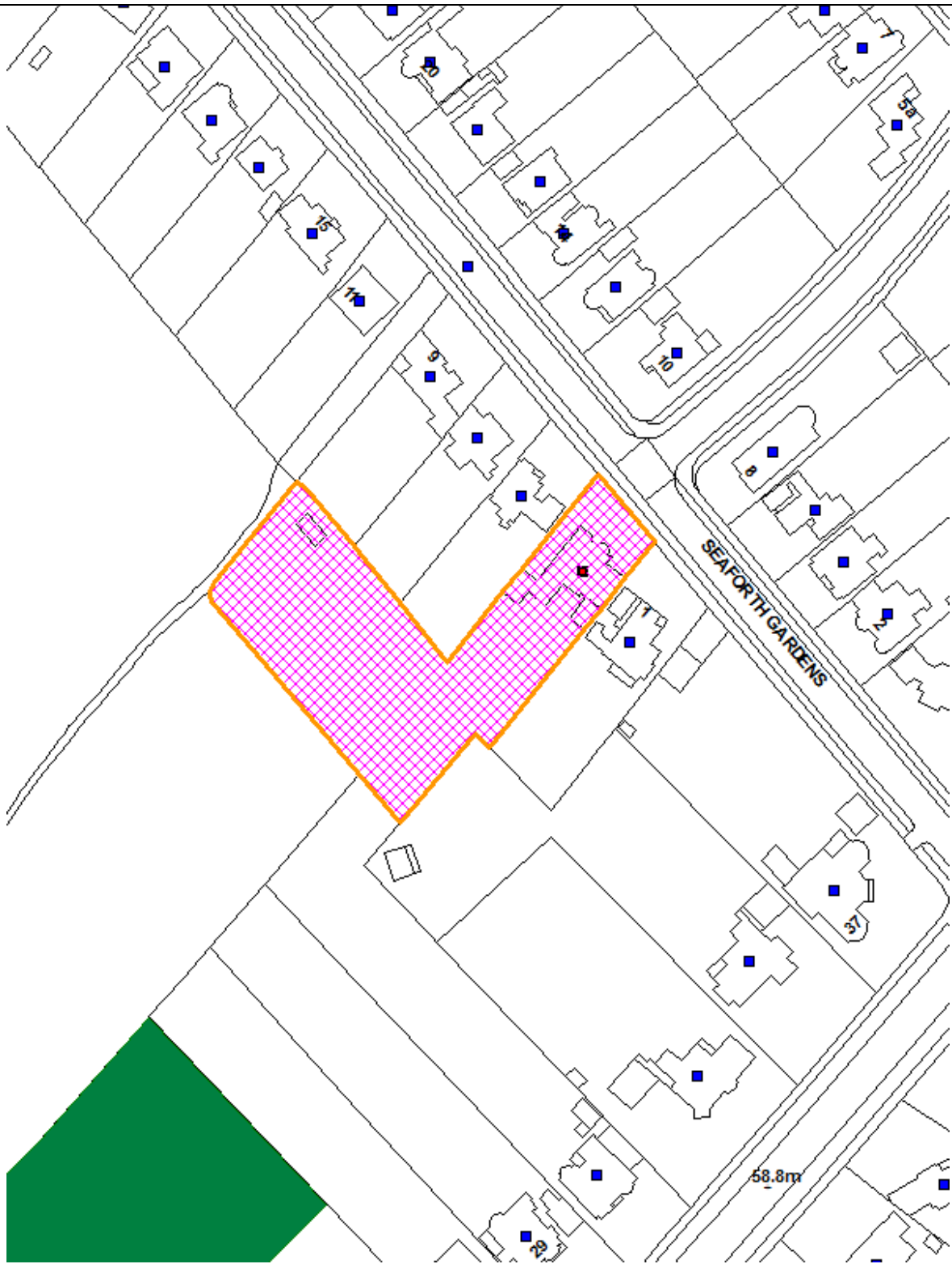
Applicant Name & Address:
Mrs Georgiou
C/O

Agent Name & Address:
David Barnard
4 Barber Close
London
N21 1BE

RECOMMENDATION: That planning permission be **GRANTED** subject to conditions.

Notes to committee members: The application is reported to planning committee following the requests of Cllr. Toby Simon and Cllr. Dinah Barry.

Ref: 17/03283/HOU LOCATION: 3 Seaforth Gardens, London, N21 3BT,



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Scale 1:1250

North



1. Site and Surroundings

- 1.1. Situated on the western side of Seaforth Gardens, the application site consists of a two-storey, detached dwelling house that is a short distance from the junction with Broad Walk and opposite the junction with Denleigh Gardens. To the rear is a deep garden that stretches further into a larger rectangular area at the back of the site to the rear of other properties on Seaforth Gardens and Broad Walk.
- 1.2. The house benefits from an original two-storey rear outrigger that also projects a two-storey extension to the side. This side extension contains an internal garage on the ground floor, well set back from the main house. The house also has extensions set on the back of its detached garage to the side.
- 1.3. This surrounding area is atypically sub-urban made of large expansive residential houses of varying architectural appearance set on large plots. The application site is neither located in a conservation area and nor relates to any listed buildings.

2. Proposal

- 2.1. Planning consent is sought for the erection of a part single part two-storey rear extension and a rear dormer, providing additional accommodation.
- 2.2. The first floor element of the proposed rear extension would be in a 'L' shape, in line with the existing rear elevation of the house, incorporating with a flat roof of 3.4m in height. The first floor element would be recessed from the rear elevation of the rear outrigger by 1m, constructed of a pitched roof.
- 2.3. Located over the rear outrigger, the proposed rear dormer would sit down from the existing roof ridgeline by approximately 600mm, and provide an adequate inset from both sides of the roof slope.
- 2.4. The description of the proposal as cited in the submitted application form doesn't include the removal of the existing detached garage and its connected side extensions. However, the submitted drawing shows that the garage and its associated extensions would be demolished.
- 2.5. It is acknowledged that the application site is not listed and doesn't fall within a Conservation Area. Therefore, the demolition as demonstrated on the drawings does not require planning permission.

3. Relevant Planning History

- 3.1. None of relevance

Planning History of Adjoining Sites

1 Seaforth Gardens

- 3.2. TP/11/1137: Planning consent was granted for part single, part 2-storey rear / side extension, with dormer window to first floor at rear, basement at lower ground level with external staircase at rear and a rear dormer to main roof (involving enlarged basement)' (PART-RETROSPETIVE).

7 Seaforth Gardens

- 3.3. TP/10/0702: Planning consent was granted for demolition of existing conservatory and erection of part single, part 2-storey rear, sides and front extensions including new porch with canopy, 2 x terraces with balustrades to first floor with rear gable, 1 x rear, 2 x front and 3 x side inverted dormers to roof extension to provide loft conversion, extended hardstanding to front.

9 Seaforth Gardens

- 3.4. TP/09/1329: Planning consent was granted for demolition of side extension and workshop and erection of part single, part 2 storey side extension to east, part 2 storey side extension to west, 2 storey rear extension and rear conservatory together with enlargement of front porch.

4. Consultation

Public Consultations

- 4.1. 10 x neighbouring properties were notified of the proposed development by letters.
- 4.2. A re-consultation was carried out between 14/09/2017 to 05/10/2017, owing to the amendments made to remove the concerned first floor balcony.
- 4.3. A number of objections were received, concerned that the development would:
- Out of keeping with character of area;
 - Over development of the site;
 - Loss character of the Garage;
 - Disrupt house symmetry;
 - Loss of privacy and outlook;
 - Unduly impact on lights to neighbouring properties.
 - Overlooking;
 - General dislike of proposal;
 - Noise nuisance;
 - Inaccurate information given on application; and
 - Facilitate a potential back land development on the rear.
- 4.4. Majorities of the objections received relate to the concerns that the demolition of the existing garage to the side would facilitate a potential back land development on the rear garden of the site.
- 4.5. Objectors have been advised that the current proposal is a householder application for extensions and the Local Planning Authority can only consider the

application as submitted on its own planning merits and cannot be determined on the basis that it may or may not lead to a further application in the future.

Internal

4.6. Winchmore Hill Residents Association:

The application for the alterations and extensions of 3 Seaforth Gardens appear to us to be only the first phase of a larger development. The applicant's submission illustrates a considerably enlarged house, avoiding the line of the site containing the existing garage, which would have been the simplest area to have extended. The proposed extension as shown, together with its large roof balcony, will certainly provide intrusive views into the gardens of the neighbouring houses. The applicants Site plan shows a considerable area of undeveloped backland within the natural boundaries of the park and the historic woodland. It would appear to the Association that the developer of 3 Seaforth Gardens has intentions to further develop this backland area with vehicular access through the existing garage area of 3 Seaforth.

The Association understands that the Borough of Enfield has a policy of refusing backland development and has Covenants prohibiting development in properties along Broadwalk and Seaforth Gardens. These proposals would break these Agreements and create a precedent which would enable further works of a similar nature difficult to refuse. We consider this application if approved has clear limitations on provisions of any access to the rear.

Yours sincerely

4.7. Southgate District Civil Trust:

This application is for extensions and alterations to one property, and we know that each application is dealt with as it is proposed and not with regard to any future development that may be applied for. However, because of our interest in what is happening there, we have looked at the somewhat sketchy drawings on the web site and have visited the site.

Looking at the front elevation there is a garage on the left of the property and an all glass floor length window of a room on the right hand side. All the proposed alterations are at the rear, but we are of the opinion that if this application is granted there will be overlooking from the proposed balcony and possibly the roof lights from the 1st floor and the loft, with regard to adjacent properties. This of course will no doubt be dealt with by the owners of Nos. 3 and 5.

There is no mention of demolition of the Garage, and this is what concerns us. The only way to do any works at the rear is through the single Garage, there being no access on the other side of the house. Although some works would be possible from inside the property it is felt that access to the rear might be necessary. At this stage there is no demolition applied for, so it must remain for this application, and not conveniently be removed during the works carried out.

If the developer's comment to the residents is correct about a future development on the rear then the only access would be by the demolition of the garage and the creation of a road to that development. This would of course be of concern to us, the neighbouring properties, and to anyone in that area of Winchmore Hill.

Statutory Consultees:

4.8. None

5. Relevant Policy

5.1. Core Strategy

CP30: Maintaining and improving the quality of the built and open environment

5.2. Development Management Document

DMD6: Residential Character

DMD11: Rear Elevations

DMD14: Roof Extensions

DMD37: Achieving High Quality and Design-Led Development

5.3. London Plan (2015)

Policy 7.4: Local character

Policy 7.6: Architecture

5.4. Other Relevant Policy

National Planning Policy Framework

6. Main Issues to be Considered

6.1. The main issues to be considered in respect of this application are:

- Impact on neighbouring amenity; and
- Design quality and impact on the character of the surrounding.

6.2. Objectors raised concerns that the demolition of the existing garage to the side would facilitate a potential back land development on the rear garden of the site.

6.3. Objectors have been advised that the current proposal is a householder application for extensions and must be considered and assessed as such. The demolition of the garage in itself would not require planning permission and whilst this could have implications for the applicant's potential ambitions for the site, the Local Planning Authority can only consider the application as submitted on its own planning merits and cannot determine on the basis that it may or may not lead to a further application in the future.

7. Analysis

Impact on Neighbouring Amenity

Rear Extension

- 7.1. DMD11 (Rear Extension) of the council's adopted DMD states that proposed extensions will only be permitted if:
 - a) There is no impact on the amenities of the original building and its neighbouring properties;
 - b) Adequate amenity space and the maintenance of satisfactory access to existing garages or garage/parking space is retained; and
 - c) There is no adverse visual impact.
- 7.2. Criteria 2 of DMD 11 entails that single storey rear extensions must not exceed 4m in depth beyond the original rear wall in the case of detached properties and 4m in height when measured from the ridge and 3m at the eaves, or not exceed a line taken at a 45-degrees from the mid-point of the nearest original ground floor window to any of the adjacent properties, and should secure a common alignment of rear extension.
- 7.3. Criteria 3 of DMD11 requires that first floor rear extensions must not exceed a line taken a 30-degree from the mid-point of the nearest original first floor window to any of the adjacent properties and where appropriate, secure a common alignment of rear extensions.
- 7.4. The vicinity of the application site is predominately residential in nature, as such from the perspective of neighbouring amenity; the proposal is assessed against the closest residential properties.
- 7.5. The application site has an existing two-storey rear addition that also projects a two-storey extension to the side. The proposed rear extension would project neither beyond, nor be higher than this two-storey side extension of the site, therefore, the neighbouring property which could be most affected by the proposal would be No.1 Seaforth Gardens only.
- 7.6. As confirmed at Case Officer's site visit, No.1 Seaforth Gardens has an existing flat-roofed, single storey rear extension set on the site boundary with the application site that features high parapet wall.



(No.1 Seaforth Gardens' rear extension)

- 7.7. The application site benefits from a substantial rear garden of approximately 2,400sqm. The proposal, given its footprint of less than 40sqm, would still retain an adequate amenity space that meets the needs of existing occupiers of the site. Furthermore, the proposal would not alter the existing vehicle access to the site.
- 7.8. The proposal would secure a common alignment of the existing rear extension on the ground floor and sit back from the existing rear outrigger by 1m on the first floor. Given its scale and massing, the proposed rear extension would be well confined within the existing footprint of the site which is of a scale that would not generate visual impact when viewed from the neighbouring properties. Therefore the proposed rear extension is satisfied with DMD 11 (1).
- 7.9. The ground floor element of the proposed rear extension would extend out from the original rear wall of the site by approximately 3.7m, in line with the neighbouring extension of No.1 on rear, hence complying with DMD 11 (2).

- 7.10. There is a separation of 6m on the first floor between the flank walls of No.1 and the application site. This separation would sufficiently allow the proposal not to breach the 30 degree line drawn from the closest first floor window of No.1. The first floor element of the proposed rear extension is thus in accordance with DMD11 (3).
- 7.11. Objectors raised concerns that the proposed first floor rear extension would result in an unacceptable level of overlooking and loss of light, privacy and outlook to the neighbouring property at No.1 Seaforth Gardens.
- 7.12. No.1 has an existing single storey rear extension (orangery) which forms part of planning consent granted in 2011 (Ref: TP/11/1137) for 'part single, part 2-storey rear / side extension, with dormer window to first floor at rear, basement at lower ground level with external staircase at rear and a rear dormer to main roof (involving enlarged basement)'. In accordance with the approved plan, this structure measures 3.9m in height x 8.75m in depth, incorporating with a roof light in lantern style projecting 4.35m in height.



- 7.13. The first floor element of the proposed extension would project approximately 5.5m in height to its eaves level, recessed from No.1's orangery by approximately 4.2m. Coupled with a reasonable distance (6m) away from No.1, it would not reduce the amount of sunlight or daylight reaching No.1's Orangery over the existing arrangement.

- 7.14. The proposal would bring the existing 1st floor window much forward. However, the parapet wall of No.1's Orangery is so high that the overlooking from the first window of the proposal onto No.1's Orangery would not be significantly increased and the outlook from the upper floor of No.1 would not be impaired.
- 7.15. In light with the above assessment, the proposed rear extension is considered to have a minimal impact on the amenity to the adjoining property at No.1.

Roof Extension

- 7.16. The proposed rear dormer is not anticipated to generate any detrimental form of neighbouring amenity to the occupiers of No.1 Seaforth Gardens in terms of loss of light, a sense of enclosure and an overbearing effect.
- 7.17. Objectors raised concerns that proposed rear dormer would generate an overlooking onto No.1's Orangery.
- 7.18. The proposed dormer window would be positioned on the roof of the rear outrigger of the site, broadly in line with the rear elevation of No.1's Orangery. Given its location, the proposed rear dormer is not considered to generate an unacceptable level of overlooking onto No.1



(the application site on the left and No.1 Seaforth Gardens on the right)

- 7.19. In summary, the proposal would comply with DMD11 and therefore is considered acceptable in amenity terms.

Design and impact on the character of the immediate surrounding

Rear extension

- 7.20. DMD11 (Rear Extensions) of the council's adopted DMD requires that extensions to a residential property need to respect the character of the local area, of which bulk/dominance should appear subordination to the original dwelling.
- 7.21. The immediate vicinity of the application site is characterised with substantial residential houses which have been extended with varying scaled extensions in the past. Being part single part two-storey, the massing of the development is considered appropriate to its local context and would not appear visually intrusive to the neighbouring properties. The proposed rear extension would be well confined with the existing footprint of the site, and would be proportionate to the host building.

Roof Extension

- 7.22. DMD 13 (Roof Extensions) of the council's adopted DMD requires that roof extensions to residential properties will only be permitted if all of the following criteria are met.
- 1) Be of an appropriate size and location within the roof plane and, in the case of roof dormers, inset from the eaves, ridge and edges of the roof (insets should normally be between 500-750mm);
 - 2) Be in keeping with the character of the property, and not dominant when viewed from the surrounding area;
- 7.23. The proposed rear dormer would provide adequate inset from the roof ridgeline and side roof slopes, complying with DMD13. As confirmed at the site visit, the proposed rear dormer, given its scale, massing and design, would be also comparable with the neighbouring rear dormer of No.1.
- 7.24. Objectors raised concerns that the proposed rear dormer would be out of keeping with the character of the surrounding.
- 7.25. The Seaforth Gardens properties are characterised with large residential houses, each of which represents different architectural design era and appearance. As such, there is no established design pattern in the locality, including roof form and house symmetry.



7.26. The proposal would involve the roof ridgeline of the rear outrigger being raised to align with the existing roof ridge line of the house. The proposed rear extension would be constructed of a hipped roof that would integrate with the altered roof of the rear outrigger. Such design would result in an increase in bulk and massing of the existing rear outrigger of the subject building. It was noted upon the Case Officer's site visit that the rear outrigger is well confined to the rear leading to limited views from the public domain. Therefore the material increase in the bulk and massing of the subject building would increase no prominence in the street scene along Seaforth Gardens.

7.27. The application building is set on a much larger plot, but is relatively smaller than the neighbouring houses. As observed on the site visit, loft conversion is a common development among the Seaforth Gardens properties, many of which have large dormers erected to the side and rear benefitted from lawful certificate consent and planning permission. Therefore, the increased size of the extended roof of the subject building would not emphasise an impression of overdevelopment on the plot, particularly compared to the larger scales of the adjoining rear dormers. To that extent, it is concluded that the scheme would reflect the aspects of the existing character of the area and would not appear visually-dominate when viewed from the neighbouring properties.

8. Conclusion

8.1. It is concluded that the proposed development would neither adversely impact on the character and appearance of the surrounding, and nor create an adverse impact to the neighbouring amenity.

9. Recommendation

9.1. As such, approval is recommended, subject to conditions.

10. Recommended Conditions

Time Limited Permission

1. The development to which this permission relates must be begun not later than the expiration of three years beginning with the date of the decision notice.

Reason: To comply with the provisions of S.51 of the Planning & Compulsory Purchase Act 2004.

Approved Plans

2. The development hereby permitted shall be carried out in accordance with the following approved plans:

Site Location Plan; 2 Rev. A;

Reason: For the avoidance of doubt and in the interests of proper planning.

Materials to Match

3. The external finishing materials shall match those used in the construction of the existing building and/or areas of hard surfacing.

Reason: To ensure a satisfactory appearance.

No Additional Fenestration

4. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995, or any amending Order, no external windows or doors other than those indicated on the approved drawings shall be installed in the development hereby approved without the approval in writing of the Local Planning Authority.

Reason: To safeguard the privacy of the occupiers of adjoining properties.

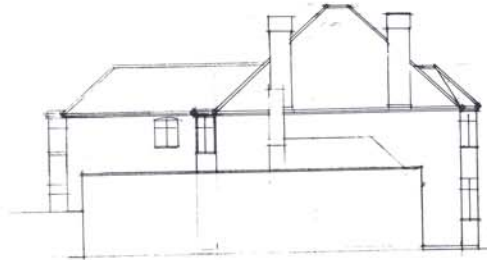
Restriction of Use of Extension Roofs

5. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995, or any amending Order, no balustrades or other means of enclosure shall be erected on the roof of the extension(s). No roof of any part of the extension(s) shall be used for any recreational purpose and access shall only be for the purposes of the maintenance of the property or means of emergency escape.

Reason: To safeguard the privacy of the occupiers of adjoining properties.



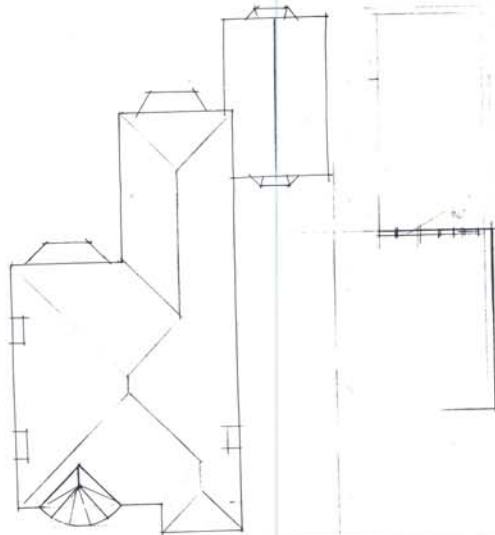
REAR ELEVATION



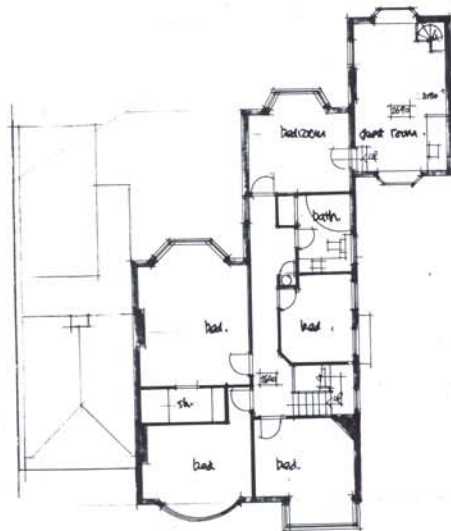
SIDE ELEVATION to no.1.



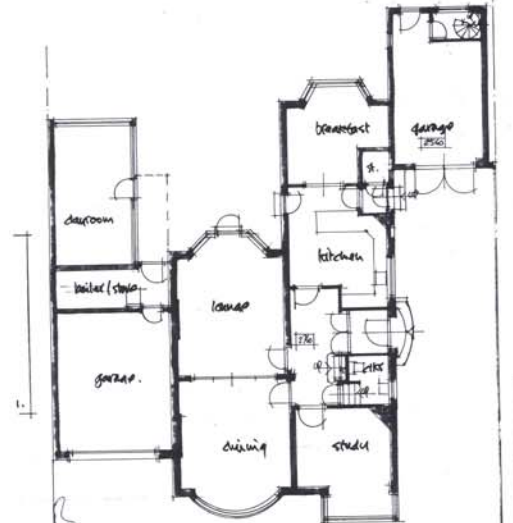
FRONT ELEVATION



ROOF PLAN



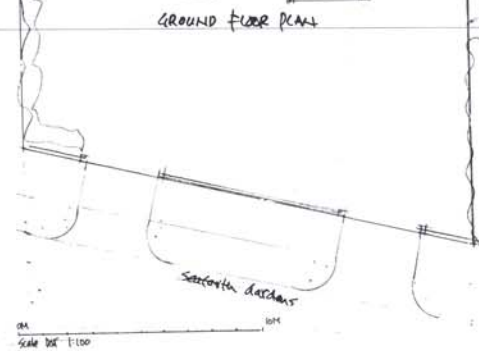
FIRST FLOOR PLAN



GROUND FLOOR PLAN



SIDE ELEVATION to no.5.



Scale bar 1:100

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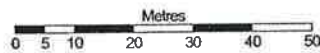
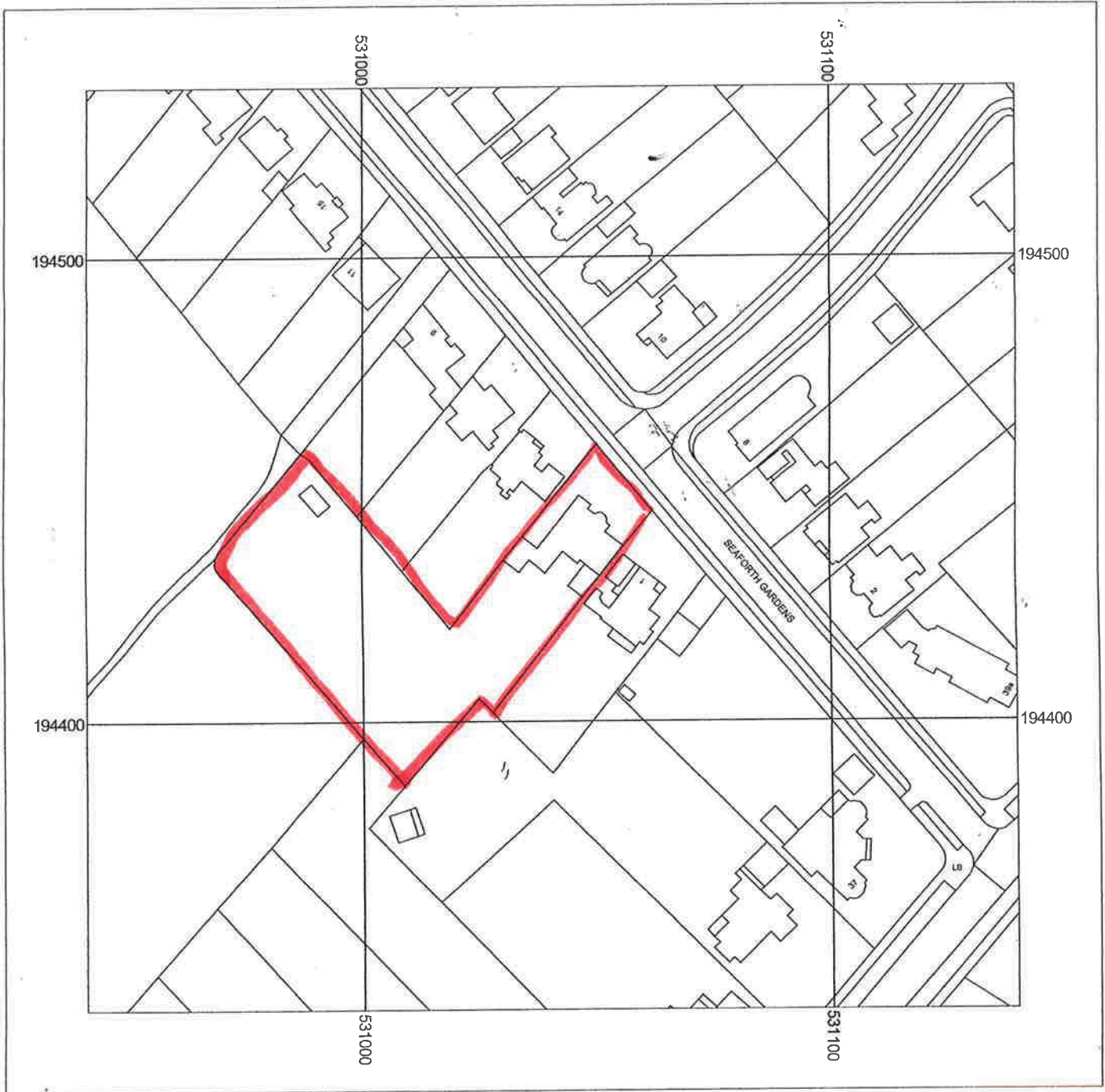
revisions:

notes:

3 SEAPORTH GARDENS, N21

Plans + alterations:
 scale: 1:100
 date: March 17
 drawn: [signature]
 client: [signature]

DAVID BARNARD
 Town Planning Consultant + Building Designer
 4 Barber Close, London, N21 1BE
 Tel: 020 8248 1585



Scale: 1:1250



3 Seaforth Gardens
London
N21 3BT

Supplied by: National Map Centre
License number: 100031961
Produced: 11/05/2017
Serial number: 1836432

Plot centre co-ordinates: 531040,194437
Download file: dbamard_3seaforth.zip
Project name: dbamard_3seaforth



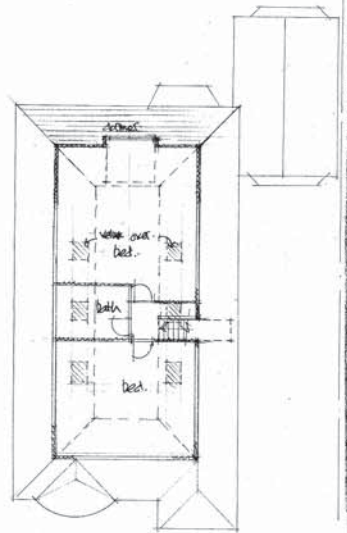
REAR ELEVATION



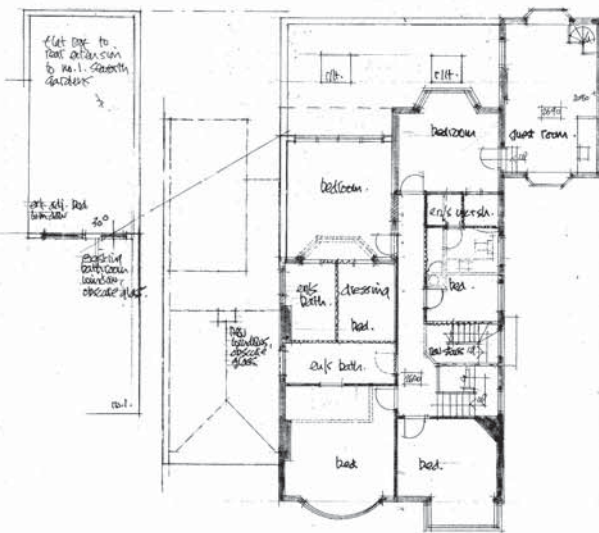
SIDE ELEVATION to no.1.



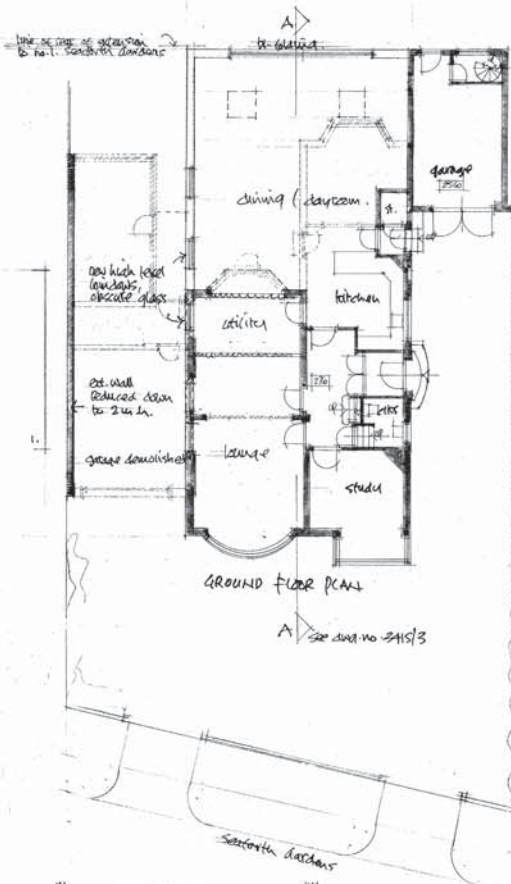
FRONT ELEVATION



PLAN IN LOFT



FIRST FLOOR PLAN



GROUND FLOOR PLAN



SIDE ELEVATION to no.5.

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revisions:
 A. sect. D. 17 revised to suit planning require ments

notes:
 1. and external joineries to match existing

3 SEAFORTH GARDENS, N21

proposed extensions + alterations:
 Plans + alterations:
 scale: 1:100
 date: May. 17
 drawn: DB
 client: 3416
 dwg. no: 2A
 job: 3416

DAVID BARNARD
 Town Planning Consultant + Building Designer
 4 Barber Close, London, N21 1BE
 Tel: 020 8245 1583

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LONDON BOROUGH OF ENFIELD

PLANNING COMMITTEE

Date: 23rd January 2018

Report of

Assistant Director, Regeneration
& Planning

Contact Officer:

Andy Higham
Sharon Davidson
Ms Marina Lai
Tel No: 0208 379 4944

Ward:

Winchmore Hill

Application Number: 17/03651/FUL

Category: Minor Dwellings

LOCATION: The Cottage, Church Hill, London, N21 1JA

PROPOSAL: Subdivision of site and erection of a detached 2-storey 2-bed single family dwelling house at side with vehicular access via Church Hill.

Applicant Name & Address:

Mr Matthew Smith
3 Woodside Cottages
Church Hill

Agent Name & Address:

Mr Matthew G Smith
First Architect
36 Woodland Way
Winchmore Hill

RECOMMENDATION: That planning permission be **REFUSED**.

Note for Members: The application is reported to planning committee following the request from Cllr. Dinah Barry.

Ref: 17/03651/FUL LOCATION: The Cottage, Church Hill, London, N21 1JA



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North



1. Site and Surroundings

- 1.1. The application site, known as The Cottage, is a Grade II listed dwelling house located on the northern side of Church Hill. The site is sited within the Winchmore Hill Conservation Area and also forms a group of 3 x Grade II listed detached cottages dated from pre1830's along Church Hill. The other two cottages are named as 'No.1 Woodside Cottage' and 'The Old School House'.
- 1.2. The site contains an empty land to the side. To the rear is Grovelands Park, part of which is woodland.
- 1.3. Winchmore Hill started as a small rural village, which was transformed into a residential suburb in the early 20th century. Together, Winchmore Hill Green and Vicars Moor Lane Conservation Areas encompass the surviving historic settlement, which still retains much of the character of the former village. Winchmore Hill Green was designated as a conservation area in 1968 and extended in 1974.
- 1.4. The surrounding is predominately residential in nature, characterised with large detached / semi-detached dwelling houses of various design eras.

2. Proposal

- 2.1. Planning Permission is sought for the subdivision of the site and erection of a two-storey 2-bed 3 person detached dwellinghouse on the existing vacant land of the site.
- 2.2. Orientated with an alignment of the front and rear elevations of the existing house, the new house would appear as a replication of 'The Cottage', in terms of building form, roof form, fenestrations and materials. The new house would have a separation of 2.25m to the flank wall of The Cottage.
- 2.3. The current proposal is a re-submission. The main differences between the current scheme and previous scheme are mainly of fenestrations and reallocation of the proposed crossover.

3. Relevant Planning History

- 3.1. 17/01520/FUL: Planning consent was refused for subdivision of site and erection of a detached 2-storey 2-bed single family dwelling house at side with vehicular access via Church Hill, by reasons of:
 - 1) The proposed new dwelling house, by reason of its side entrance door, fenestrations, close proximity to the rear boundary and location visibility of proposed crossover and the extent of associated hard standing, fails to respect the rhythm and particular character of the Woodside Cottages distracting from the established pattern of development in the locality, detrimental to the character and appearance of the conservation area contrary to CP4 and CP30 of the Core Strategy, and DMD6, DMD8, DMD7, DMD 37 and DMD38 of the Development Management Document.

- 2) The proposed development would result in a piecemeal erosion of the greenery on Church Hill leading to the gradual urbanisation of the Conservation Area, failing to conserve and enhance the character of the Winchmore Hill Conservation Area, contrary to Policy 7.8 of London Plan, CP31 of the Core Strategy and DMD44 of the Development Management Document.
 - 3) In the absence of Tree Survey Report, the proposed development would provide inadequate separation to a number of third party owned trees nearby which have a high amenity value to the character of the local landscape, and result in a significant harm to the retention and long term survival of these trees, detrimental to biodiversity and local amenity contrary to DMD 37 and DMD 80 of the Development Management Document.
- 3.2. 17/01953/LBD: Listed Building Consent was refused for subdivision of site and erection of a detached 2-storey 2-bed single family dwelling house at side with vehicular access via Church Hill. is recommended refusal, by reasons of:
- 1) The proposed new dwellinghouse, by reason of the positioning of side entrance door, inappropriate style of fenestration, close proximity to the rear boundary and location and design of the crossover with associated hard standing, fails to respect the rhythm and detailing of the group of listed cottages (The Cottage, Woodside Cottages, Church Hill; 1 Woodside Cottages, Church Hill; The Old School House, Church Hill), and detracts from the established pattern of development in the locality, resulting in a development that is both detrimental to the character and appearance of the conservation area and the setting of neighbouring listed buildings contrary to CP4 and CP30 of the Core Strategy, and DMD6, DMD8, DMD7, DMD 37 and DMD38 of the Development Management Document, Section 16(2) of the Planning (Listed Buildings and Conservation Areas) Act 1990 and Policies 7.4, 7.6 and 7.8 of the Local Plan.
- 3.3. 16/03348/PREAPP: a pre-application request was received for proposed subdivision of site and erection of a detached 2-storey 3-bed dwellinghouse (Options A and B), or a two storey extension to side with detached garage. It was concluded that the principle of development on this site **would not be supported**.
- 3.4. The agent was advised under the above pre-application request that the proposed development would be considered inappropriate to this sensitive location and does not preserve or enhance the significance or setting of the grade II listed heritage asset or better reveal its significance. Moreover, it would fail to preserve and enhance the character and appearance of the Conservation Area. In particular, this harm would not be outweighed by any public benefit that could potentially be delivered by the scheme.
- 3.5. TP/09/1552: Planning application for subdivision of site and erection of a detached 2-storey 2-bed dwellinghouse at side with associated car parking and vehicular access was **withdrawn**.
- 3.6. A meeting between the agent and the council's Officers was set up before the above application was withdrawn. During the meeting, the agent was advised that the proposal would result in a fracturing of its curtilage of a Listed

Building and therefore adversely affect the setting of the Listed Building. As such, the proposed development on this site would not be supported. The above application was later withdrawn.

- 3.7. TP/05/1060: Application for the same development was considered **invalid**.

4. Consultations

Responses from Neighbours:

- 4.1. The application was referred to 6 x surrounding properties, and no comments were received.

Responses from statutory consultees:

- 4.2. Historic England: This application should be determined in accordance with national and local policy guidance, and on the basis of your specialist conservation advice.

Responses from internal consultees:

- 4.3. Transport Team: No objection to the proposal, subject to conditions.
- 4.4. Environmental Health: No objections to the proposal.
- 4.5. Tree Officer: placed no objections to the submitted Tree Survey Report.
- 4.6. CAG: The Group supported the proposal.

CAG noted that the SDCT supported this application. This application is a further attempt to introduce a new cottage into the historic group of cottages. Members have diverse views on the principle as to whether it is right to introduce a new cottage into this setting. The applicant has tried to address the objections, made by Enfield, in the rejection of the earlier application (17/01520/FUL). The main entrance has been moved to the front elevation and the cottage has been repositioned on the site. This has resulted in better spacing with its neighbour and greater visual continuity with the historic group. Once again CAG voted on the proposal; the result being very similar to the vote taken on the initial submission.

5. Relevant Policies

5.1. Core Strategy

CP2: Housing Supply and Locations for New Homes
CP4: Housing Quality
CP24: The Road network
CP 25: Pedestrians and Cyclists
CP26: Public Transport
CP30: Maintaining and Improving the Quality of the Built and Open Environment
CP31: Heritage

5.2. Development Management Document

DMD 6: Residential Character
DMD 7: Development of Garden Land
DMD 8: General Standards for New Residential Development
DMD 9: Amenity Space
DMD10: Distancing
DMD 37: Achieving High Quality and Design-Led Development
DMD 44: Conserving and Enhancing Heritage Assets
DMD 45: Parking Standards and Layout
DMD47: New roads, access and servicing
DMD48: Transport assessments
DMD49: Sustainable design and construction
DMD79: Ecological Enhancements
DMD80: Trees
DMD 81: Landscaping

5.3. London Plan

Policy 3.5: Quality and Design of Housing Developments
Policy 3.14: Existing housing
Policy 5.3 Sustainable design and construction
Policy 6.9: Cycling
Policy 6.13: Parking
Policy 7.4: Local Character
Policy 7.6: Architecture
Policy 7.8: Heritage
Policy 8.3: Community infrastructure levy

5.4. National Planning Policy Framework (NPPF)

Section 7: Requiring Good Design
Section 12: Preserving and Enhancing Historic Environment

5.5. Other Relevant Policy Considerations

Enfield Characterisation Study
Mayor's Supplementary Housing Guidance
Technical housing standards - nationally described space standard
Winchmore Hill & Vicars Moor Lane Conservation Area Character Appraisal
2015

6. Main Issues to be Considered

6.1. The current application is a re-submission of a similar development 17/01520/FUL & 17/01953/LBD. The previous scheme was refused on 4 x grounds:

1. *The proposed new dwelling house, by reason of its side entrance door, fenestrations, close proximity to the rear boundary and location visibility of proposed crossover and the extent of associated hard standing, fails to respect the rhythm and particular character of the Woodside Cottages distracting from the established pattern of development in the locality, detrimental to the character and appearance of the conservation area.*

2. *The proposed development would result in a piecemeal erosion of the greenery on Church Hill leading to the gradual urbanisation of the Conservation Area, failing to conserve and enhance the character of the Winchmore Hill Conservation Area.*
3. *In the absence of Tree Survey Report, the proposed development would provide inadequate separation to a number of third party owned trees nearby which have a high amenity value to the character of the local landscape, and result in a significant harm to the retention and long term survival of these trees, detrimental to biodiversity and local amenity.*
4. *The proposed new dwellinghouse, by reason of the positioning of side entrance door, inappropriate style of fenestration, close proximity to the rear boundary and location and design of the crossover with associated hard standing, fails to respect the rhythm and detailing of the group of listed cottages (The Cottage, Woodside Cottages, Church Hill; 1 Woodside Cottages, Church Hill; The Old School House, Church Hill), and detracts from the established pattern of development in the locality, resulting in a development that is both detrimental to the character and appearance of the conservation area and the setting of neighbouring listed buildings.*

6.2. As such, the main issues to be considered under this application will be whether or not that the amended scheme has adequately addressed the Reasons of Refusal issued under 17/01520/FUL & 17/01953/LBD, in addition to the following planning considerations:

- Quality of living accommodation;
- The acceptability of the scheme in terms of its impact on amenity of future residents and adjoining occupiers; and
- Transport impact in terms of associated car / cycle parking, servicing and refuse arrangements.

Reason of Refusal 1): Design

- 6.3. DMD6 and DMD8 of the council's adopted DMD require that new residential development must not harm the character of the area, and the design and scale must be considered in the context of the surrounding pattern of development.
- 6.4. Under the previous scheme, the proposed new house, by reason of its side entrance door, fenestrations, close proximity to the rear boundary and location visibility of proposed crossover and the extent of associated hard standing, was considered to disregard the rhythm and particular character of the Woodside Cottages distracting from the established pattern of development in the locality. It was also considered that the design was neither nuanced nor contextual in its approach and failed to take cues from the predominantly vernacular buildings found in the surrounding Conservation Area.
- 6.5. The current scheme is proposed a number of amendments in order to address the issues raised. The main entrance has been moved to the central of the front elevation and the new cottage has been repositioned on the site.

The crossover has been reallocated to the side, allowing the front garden to be landscaped. The fenestration and proposed materials would replicate the design of The Cottage, while the rear building line would also secure a common alignment of the neighbouring property. All these have resulted in better spacing with its neighbour and greater visual continuity with the historic group.

- 6.6. It is then considered that the Reason of Refusal 1) has been adequately addressed.

Reason of Refusal 2) and 4): impact on the setting of existing listed building groups and the character and appearance of the conservation area

- 6.7. The application site is a Grade II listed dwelling house within the Winchmore Hill Conservation Area and forms a group of 3 x Grade II listed detached cottages dated from pre1830's along Church Hill.
- 6.8. The proposal would involve the subdivision of the curtilage of a Grade II listed building. The principal heritage considerations will therefore be given to the impact of the proposed development upon the setting of the listed building(s) / its significance and the character and appearance of the Conservation Area.
- 6.9. Under the previous scheme, to introduce a new cottage at this location was not supported in principle owing to its adverse impact on the setting of the listed cottage group. Moreover, the proposed development would result in a loss of greenery which is not supported in line with the Winchmore Hill Conservation Area Character Appraisal. The piecemeal erosion of the greenery on Church Hill will lead to the gradual urbanisation of the Conservation Area and detract from the setting of existing buildings.
- 6.10. Sections 16(2) of the Planning (Listed Buildings and Conservation Areas) Act 1990 states: 'In considering whether to grant listed building consent for any works the local planning authority or the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historical interest which it possesses.'
- 6.11. The National Planning Policy Framework (NPPF) provides guidance with local planning authorities on how to safeguard this special interest. Paragraph 132 states that when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation. As heritage assets are irreplaceable, any harm should require clear and convincing justification.
- 6.12. Paragraphs 134 states that 'Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal, including securing optimum viable use.
- 6.13. The NPPF also requires local planning authorities to 'identify and assess the particular significance of any heritage asset that may be affected by a proposal (including by development affecting the setting of a heritage asset) taking account of the available evidence and any necessary expertise. They should take this assessment into account when considering the impact of a proposal on a heritage asset, to avoid or minimise conflict between the heritage asset's conservation and any aspect of the proposal'.

- 6.14. DMD44 (Conserving and Enhancing Heritage Assets) resists developments that fail to conserve and enhance the special interest, significance or setting of a heritage asset. Paragraph 8.5.4 goes on to state:

Development affecting the significance of an asset may include, but is not limited to: the introduction of new structures/objects; alterations; complete or partial demolition; removal of buildings/features or parts thereof; the introduction of signage or advertisements; changes of use (including the use of open spaces); subdivision or fragmentation; changes to landscaping; the removal of built or landscape features or parts thereof; or any other form of development which fails to conserve and enhance the asset or its setting.

- 6.15. As cited in the council's adopted the Character Appraisal 2015 (shown below), the setting of the vernacular Woodside Cottages is identified as one of the architectural highlights within the conservation area and are of special interest and warrant every effort being made to conserve them.

Character area: Church Hill

2.7.1. Church Hill is much wider than the roads around and its gently curving nature is more informal than other roads in the Conservation Area.....Approaching from the west, Woodside Cottages provide a strong gateway, their proximity to the road and distinctive, white painted weatherboarding in strong contrast to the preceding suburban housing. A belt of trees on the opposite side of the road gives these buildings an apparently rural setting, masking the ranks of interwar semis beyond.

- 6.16. A distinctive characteristic of the existing three Grade II listed cottages is their relationship to one another due to the fall in ground level, with each lower than the adjacent dwelling. The frontage with horizontally constructed weatherboard, formal window arrangements and single roof plane is repeated in each cottage to assist in integrating these three properties into a set of uniformity having a prominent view along Church Hill.
- 6.17. The proposal would result in a fracturing of the curtilage of a listed building materially affecting the setting of a listed building. It is also noted that the proposed new house is designed to replicate the adjacent listed cottages which would also materially affect the setting of a group of listed buildings.
- 6.18. Whilst it is acknowledged that this proposal would provide for additional housing within the borough, it is considered that the principle of the back garden house at this location is not considered acceptable in principle. The proposal plotting a cottage of replicated design of adjacent listed cottage group would be an insensitive development, adversely affecting the setting of the heritage asset and failing to conserve and enhance the character of the conservation area that the council seeks to protect. As such, the development would not be supported.

Reason of Refusal 3): Impact on Trees

- 6.19. The applicant has submitted a Tree Survey Report demonstrating the impact on the existing and adjoining trees as a result of the proposed development. The council's Tree Officer placed no objection to the Report, subject to the submitted Tree Protection Plan and Arboricultural Method Statement being

made condition. In addition the submitted details for the foundation system would be also made condition to minimize harm to the woodland trees root system.

- 6.20. Subject to conditions, the proposal is not considered to generate an undue impact on existing trees on site and adjoining sites. Therefore, the Reason of Refusal 3) has been adequately addressed.

Quality of accommodation

- 6.21. The 'Technical housing standards - nationally described space standard' (2015) sets out the minimum gross internal floor area (GIA) of 79sqm for 2-bed four person over two-storey dwelling, which the proposal adequately complies with.
- 6.22. With regards to its layout, the proposal is also considered to provide adequate resource to light, ventilation and outlook.
- 6.23. DMD 9 (Amenity Space) requires that new residential development must provide quality private amenity space that is not significantly overlooked by surrounding development and meets or exceeds the minimum standards of 29sqm for a dwelling house. The proposed outdoor garden is considered adequate to meet the needs of the new house.
- 6.24. In light with the above assessments, the proposed development is considered to provide an acceptable quality of accommodations to future occupiers of the development.

Impact on neighbouring amenity

- 6.25. DMD 6 and 8 ensure that residential developments do not prejudice the amenities enjoyed by the occupiers of neighbouring residential properties in terms of privacy, overlooking and general sense of encroachment. In addition Policies 7.4 of the London Plan and CP30 of the Local Plan seek to ensure that new developments have appropriate regard to their surroundings, and that they improve the environment in terms of visual and residential amenity. DMD 10 also specifies that facing windows for 2-2 storeys should be 22 metres apart.
- 6.26. The new house would align with the front building line of the listed 3 x dwelling houses, with a distance of 8.2m to the flank wall of No.3. Despite that such a distance is below the requirement of 11m as set out in DMD10, it is noted that the flank wall of No.3 contains no upper floor windows and the existing distances between the existing dwelling houses of No.1 - No.3 The Cottage are varies and also are less than 11m. Given its local context and sitting, the proposed development is, on balance, not considered to generate any detrimental impact to the amenity of adjoining occupiers.

Transport Impact

- 6.27. The council's Transport Team was consulted on the proposal and provided with the following comments.
- 6.28. **Vehicular access:** The proposed off-street park area would have a sufficient space enabling adequate manoeuvring to be undertaken and vehicles to be

able to exit onto roadways in a forward's direction. Such arrangements are considered acceptable, and details of the vehicular access can be dealt with by way of planning condition.

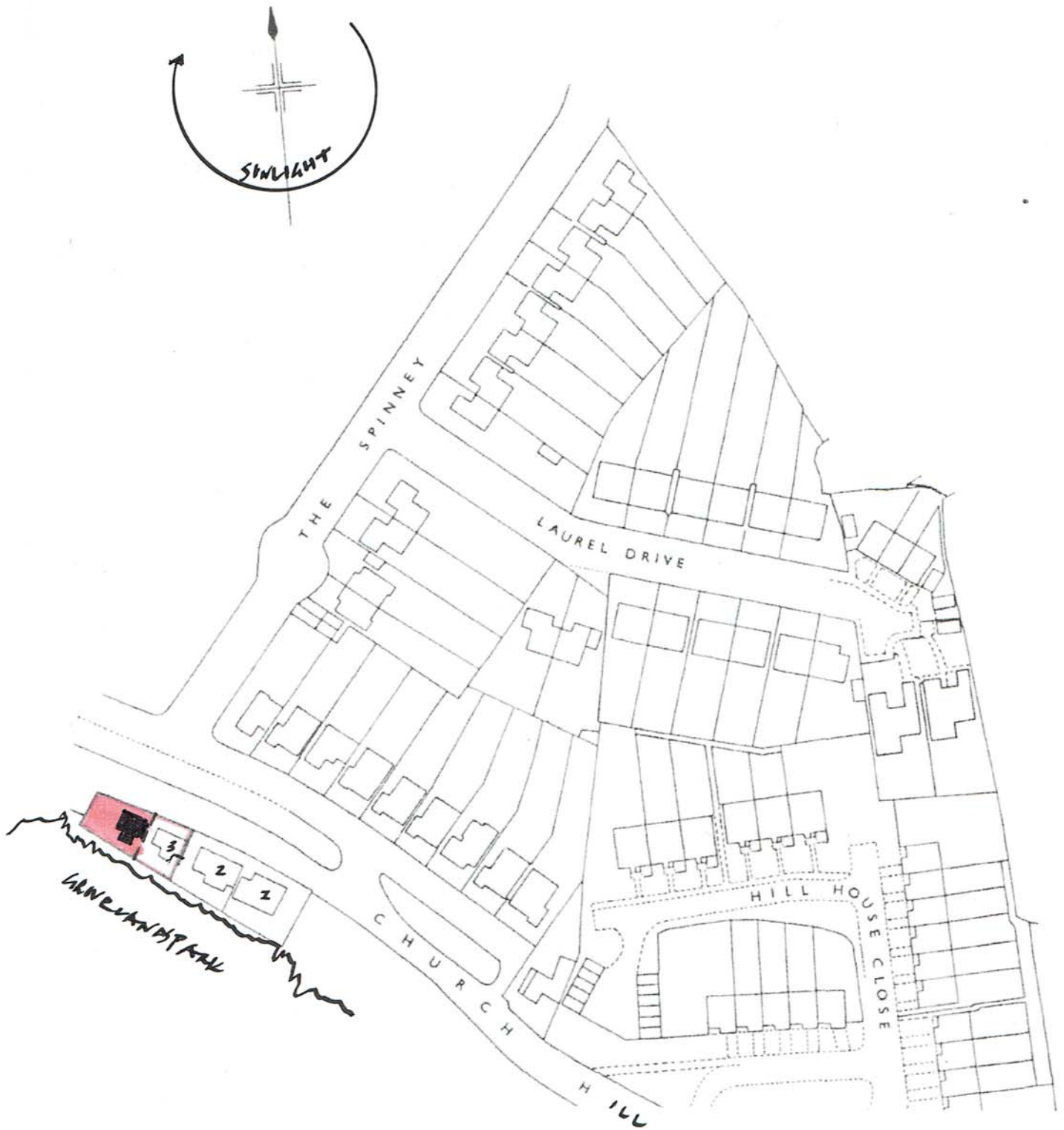
- 6.29. **Car Parking:** The proposal would contain 1 x off street car parking space to the side of the new house, which is acceptable for a development of this scale.
- 6.30. **Refuse and Recycling:** DMD 47 specifies that new development will only be permitted where adequate, safe and functional provision is made for refuse collection. The refuse and recycling provision should be provided in line with the Council's Refuse and Recycling Guide ENV 08 162. This could be dealt with by way of planning condition.
- 6.31. **Cycle Parking:** The development must provide secure, integrated, convenient and accessible cycle parking in line with the minimum standards set out in the current London Plan Table 6.3 as required by DMD Policy 45 and the guidance set out in the London Cycle Design Standards. This could be dealt with by way of planning condition.
- 6.32. Subject to conditions, the proposal is considered to generate an acceptable level of impact on transport.

7. Conclusion

- 7.1. In light with the above assessment, the proposed subdivision of the site was not supported in principle, owing to its adverse impact on the setting of the listed buildings and the character of the conservation area.

8. Recommendation

- 8.1. Planning consent is recommended refusal by reasons of:
 - 1) The proposed development would result in a piecemeal erosion of the greenery on Church Hill leading to the gradual urbanisation of the Conservation Area, both detrimental to the character and appearance of the Winchmore Hill Conservation Area and the setting of neighbouring listed buildings, contrary to CP4 and CP30 of the Core Strategy, and DMD6, DMD7, DMD8, DMD 37, DMD38 and DMD44 of the Development Management Document, Section 16(2) of the Planning (Listed Buildings and Conservation Areas) Act 1990 and Policies 7.4, 7.6 and 7.8 of the Local Plan.



FIRST ARCHITECT
ARCHITECT

36, WOODLAND WAY
WINCHMORE HILL
LONDON E3 9QA



MOBILE
07932 618 264

REVISION / DATE

AUGUST 2017

DRAWING NUMBER

FA/3WSC/500

CLIENT

Address 3 WOODSIDE COTTAGES
WINCHMORE HILL
LONDON N21 1JA

TEL
020 8886 1373

E-MAILS
mgs220355@gmail.com

SCALE

1:1250/A4

SCHEME DEVELOPMENT (2BED HOUSE)
Drawing LOCATION PLAN



FIRST ARCHITECT
ARCHITECT

36, WOODLAND WAY
WINCHMORE HILL
LONDON N21 3QA



MOBILE
07932 618 264

TEL
020 8886 1373

REVISION / DATE
/ AUGUST 2016

E-MAILS
mgs220355@gmail.com

DRAWING NUMBER
FA/3WS/P1

SCALE
NTS/A4

CLIENT
Address
MARTIN HARVEY
3 WOODSIDE COTTAGES
WINCHMORE HILL
LONDON N21 1JA

SCHEME
Drawing
DEVELOPMENT
FRONT STREET ELEVATION



EXTERNAL WALL FINISH - TIMBER CLADDING
 WINDOWS/DOORS - HW/PANITZER P/G
 ROOF FINISH - SLATE

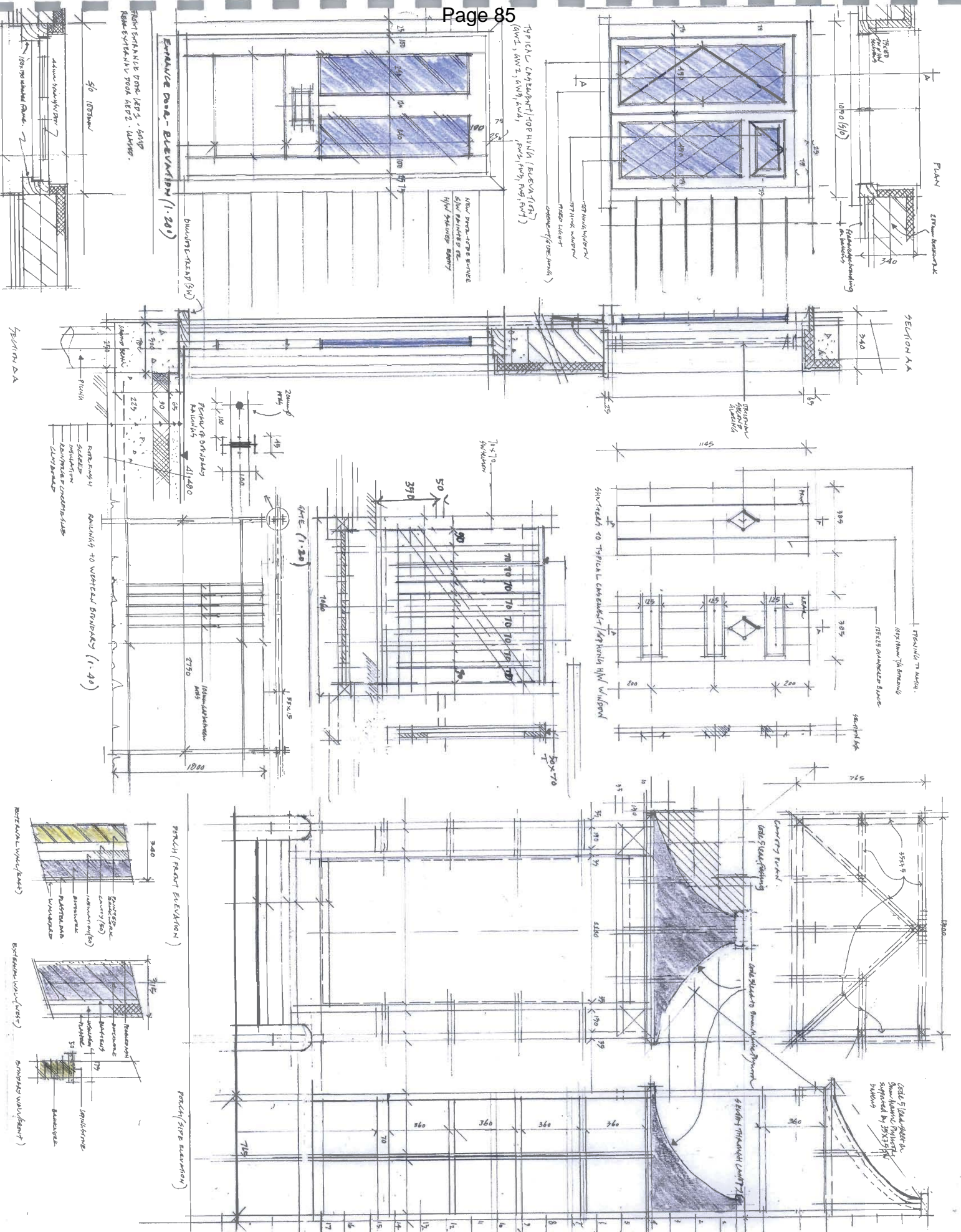


FIRST ARCHITECT ARCHITECT



36, WOODLAND WAY
 WINCHMORE HILL
 LONDON W21 3QA

MOBILE	REVISION / DATE	DRAWING NUMBER	CLIENT
07932 618 264	JULY 2017	FA/3W5C/505	3 WOODSIDE COTTAGES
TEL	E-MAILS	SCALE	Address
020 8886 1373	mg220555@gmail.com	1:200/A4	LONDON N21 1JA
			SCHEME
			NEW DETACHED HOUSE
			(Drafting)
			PROPOSED STREET ELEVATION



FIRST ARCHITECT
ARCHITECT

MOBILE
07932 618 264

REVISION / DATE
OCTOBER 2017

DRAWING NUMBER
FA/3WS/506

CLIENT
Address
3 WOODSIDE COTTAGES
WINCHMORE HILL
LONDON N21 1JA

36, WOODLAND WAY
WINCHMORE HILL
LONDON N21 3QA

TEL
020 8886 1373

E-MAILS
mgs220355@gmail.com

SCALE
Various / A3

SCHEME
Drawing
DEVELOPMENT (2 bed House)
DETAILS OF WINDOWS, CLADDING
DOORS, GATE, BOUNDARY WALLS



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LONDON BOROUGH OF ENFIELD

PLANNING COMMITTEE

Date : 23 January 2018

Report of
Assistant Director,
Regeneration & Planning

Contact Officer:
Andy Higham
Sharon Davidson
Mrs Jennie Rebaire
Tel No: 020 8379 3822

Ward:
Bush Hill Park

Ref: 17/04799/ADV

Category: Advertisement Consent

LOCATION: Public Footpath Outside, 124 - 146 Village Road, Enfield, EN1 2EX

PROPOSAL: Installation of an internally illuminated freestanding doubled sided digital display unit.

Applicant Name & Address:

Mr Matthew Coe
33 Golden Square
London
W1F 9JT

Agent Name & Address:

N/A

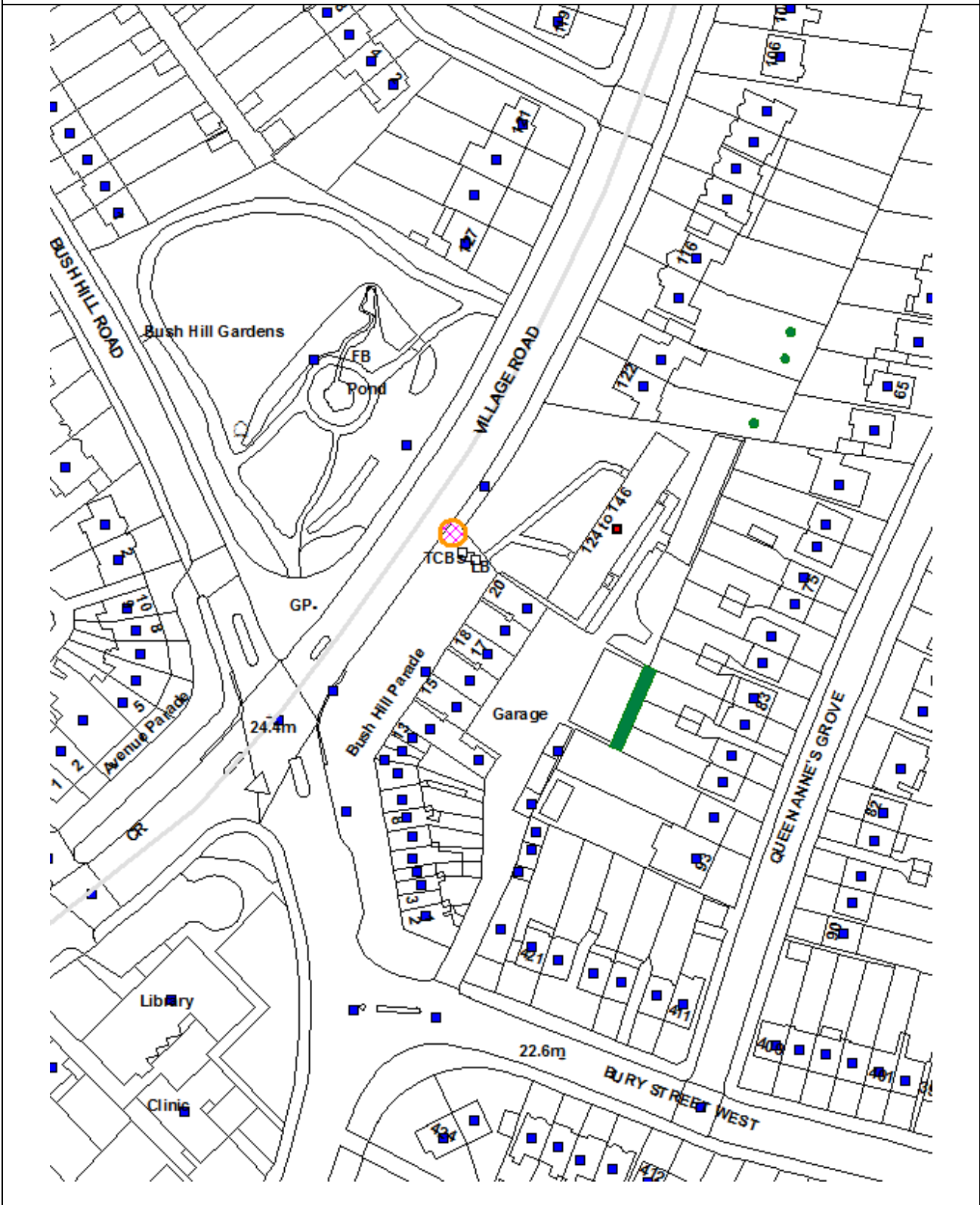
RECOMMENDATION:

Planning permission be **GRANTED** subject to conditions.

Note for Members:

The application is reported to committee following the request of Cllr Chamberlain.

Ref: 17/04799/ADV LOCATION: Public Footpath Outside, 124 - 146 Village Road, Enfield, EN1



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Scale 1:1250

North



1. Site and Surroundings

- 1.1 The application site consists of an area of public highway opposite Nos. 124 -146 Village Road which is a purpose built block of residential units. The block is set back from Village Road by approximately 19 metres separated by communal garden space.
- 1.2 To the south of the site is Bush Hill Parade which consists of a number of commercial premises with a deep front forecourt which has recently been redesigned to introduce the Cycle Enfield Scheme.
- 1.3 An existing freestanding advertisement unit was sited within the forecourt opposite No. 16 Bush Hill Parade. The advertisement unit was removed when Cycle Enfield works were undertaken.
- 1.4 The relocation of the freestanding advertisement unit is proposed to be sited on public highway which sits outside the communal gardens of properties 124-146 Village Road.
- 1.5 The property is not in a Conservation Area and is not listed.

2. Proposal

- 2.1 Advertisement consent is sought for the proposed replacement of the existing freestanding display unit with a new internally illuminated freestanding display unit.
- 2.2 The applicants Clear Channel in partnership with London Borough of Enfield have submitted a number of Advertisement Consent applications for sites within the borough to remove and upgrade existing JCDecaux street signs. The application forms part of this upgrade programme.
- 2.3 The free standing sign has a height of 2.95 metres a width of 1.336 metres and a depth of 0.3 metres.
- 2.4 The brightness of the display will be controlled by the ambient environmental control, which automatically adjusts the brightness level of the screen to track the changes in light level in the environment throughout the day. This ensures that the perceived brightness of the display is maintained at a set level. The level of illumination during the hours of darkness will be 280cd/m².
- 2.5 The digitally generated display will produce sequential images. These will contain no full motion video or displays unless consent has been granted for such movement. Advertising copy shall not change more frequently than every 10 seconds and the transition to the next advertisement will be via a smooth fade. This is in line with the existing consented scrolling advertising units in the borough.

3. Relevant Planning History

3.1 None

4. Consultation

4.1 Public Consultations

The 21 day public consultation period started on the 10th November. It was brought to our attention by a member of the public that the application address was incorrect. The application had been submitted as Outside 124-146 Bush Hill Road and not Outside 124 -146 Village Road which is the correct address.

4.2 All correspondence has been corrected by the applicant and our system updated. Re-consultation letters sent to all neighbours advising them of a revision and inviting any comments to be submitted by 8th December 2017.

4.3 One letter of objection received as follows:-

- This is not a replacement;
- Should be relocated outside Greggs on Church Street;
- Existing eyesore - two junction boxes - large blank rubbish bins - bus stop - rubbish bin;
- Five benches on Bush Hill Parade create additional litter;
- Bus shelter faces property invading privacy; and
- Advertisement unsightly and unnecessary.

4.4 Internal

Traffic & Transportation - No objection

4.5 External

None

5. Relevant Policies

5.1 Core Strategy

CP30: Maintaining and Improving the Quality of the Built and Open Environment

5.2 Development Management Document (adopted in November 2014)

DMD 37: Achieving High Quality and Design-Led Development
DMD 41: Advertisement

5.3 London Plan (2015)

Policy 7.4: Local Character

5.4 Other Relevant Policy Considerations

NPPF

6. Analysis

6.1 The main issues for consideration regarding this application are as follows:

- Design and Impact on the surrounding area;
- Highway Safety; and
- Neighbouring Amenity.

6.2 Scale, Design, Character

6.2.1 It is considered that the question of amenity includes the relationship of advertisements to the surrounding area and their effect on the visual quality of the general street scene. In this regard design principles seeks to ensure that advertisements are of a size, siting and design that would not give rise to conditions prejudicial to highway safety and would not become overly dominant or result in a cluttered appearance that actively detracts from the visual amenity of the surrounding area.

6.2.2 An existing freestanding digital panel has been removed from its established position outside No. 16 Bush Hill Parade due to the works carried out as part of the Cycle Enfield project. The replacement panel is sited further north outside 124 -146 Village Road. It is accepted that this is a replacement in a position further north than its previous position. The relocation is due to the works carried out along this section of highway for the introduction of Cycle Enfield including works to the forecourt which form part of Bush Hill Parade. There are limited positions on the footpath to relocate the unit as a result of the Cycle Enfield Scheme. The relocation of the sign would sit forward of existing street furniture including two Utility Boxes. It was considered that the proposed relocation was the best position to install the unit. Given the proposed sign would serve as a replacement and having regard to the surrounding street furniture within this section of Village Road, including Post box, Utility Boxes, bin and bus stop, it is concluded that the replacement digital panel would not be visually intrusive, not assisting in creating a cluttered appearance within the street scene having regard to policies CP30 of the Core Strategy and DMD37 and DMD41 of the Development Management Document.

6.3 Neighbouring amenity

6.3.1 Objections from a local resident have been received and they have been acknowledged. Whilst, it is recognised that the siting of the sign is closer to the residential block Nos. 124 -146 Village Road in terms of visual impact or clutter this would remain acceptable. The location of the unit is sited approximately 19 metres from the residential block and given its position close to existing utility boxes would not assist in creating additional clutter along this section of Village Road not having a harmful impact on the character of the existing street scene.

6.3.2 It is not considered that the digital panel by virtue of its siting, dimensions or level of illumination would be detrimental to the residential amenities of the surrounding properties.

6.4 Highway Safety

6.4.1 It is noted that the new footway along this section of Village Road has a reasonable width. The unit would be placed in front of existing Utility Boxes and there remains significant footway width in the area where the proposed replacement display sign is to be installed. It is not thought that the display sign in the proposed location will be an obstruction to the smooth movement of pedestrians and cyclists in the surrounding local area.

6.4.2 Furthermore, it is considered that the digital panel by virtue of its siting, dimensions or level of illumination would not be detrimental to highway safety or pedestrian safety. It is noted that the panel would be erected within the proximity of a bus stop, however given this is an established location and having regard to sight lines, as such it is not considered that the panel would impact detrimentally on visibility. The size and siting of the advertisement is such that it would not obscure or hinder the interpretation of any road or traffic sign and would not be detrimental to the safety of pedestrians or drivers.

7. **Conclusion**

It is therefore considered that the signage would not be intrusive or detract from the visual amenities of Village Road or the surrounding area, or be detrimental to highway and pedestrian safety and complies with Local Plan Policies CP30 and Development Management Document Policies DMD37 and DMD41 and planning consent be GRANTED.

8. **Recommendation**

That planning permission be granted subject to the following conditions:-

1. C44 - Time limit
2. The development hereby permitted shall be carried out in accordance with the approved plans;

Location Plan
Supporting Statement
Specification Sheet

Reason: For the avoidance of doubt and in the interests of proper planning.

3. The intensity of the illumination of the [sign] permitted by this consent shall be no greater than 280 candela, or (where unspecified) within that recommended by the Institution of Lighting Engineers for a sign within a Lit Zone in their Technical Report No.5 (Third Edition-2001).

Reason: In the interests of amenity and highway safety.

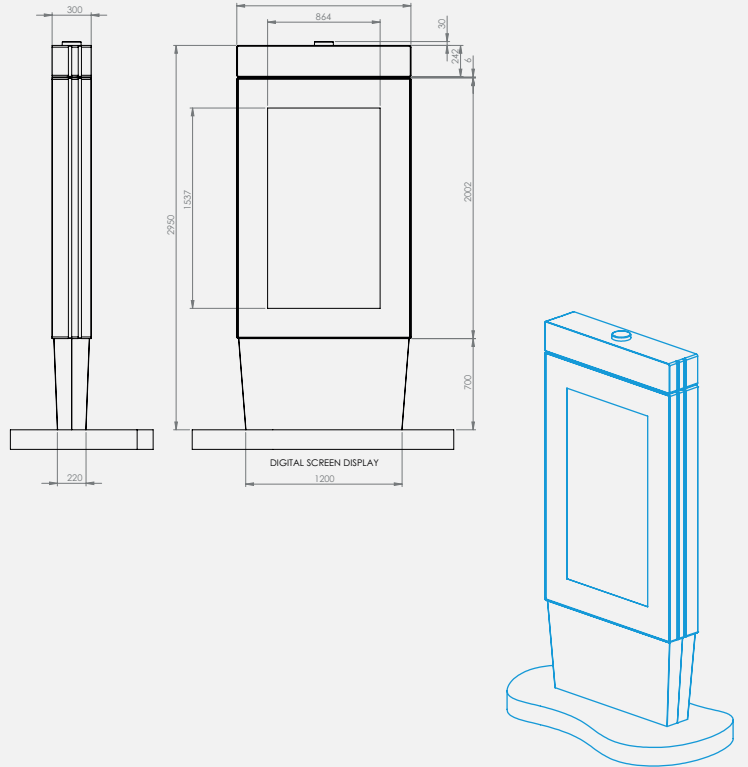
Adshel Live

Product specification sheet
– Digital Freestanding Unit

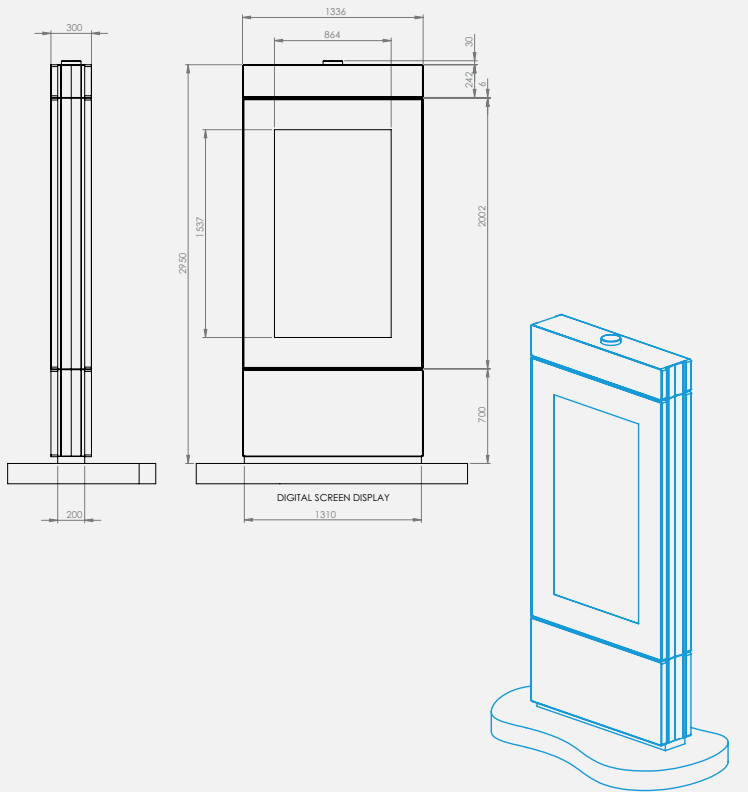




Taper



Extrude

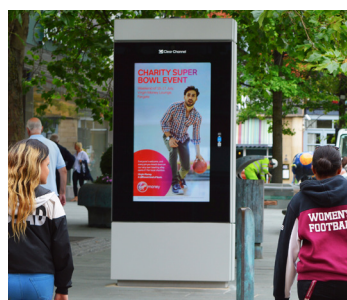


Adshel Live - Product specification sheet

Digital outdoor LCD display

- Outdoor FSU available in single sided digital with LED backlit rear poster
- Suitable as Shelter Adbox replacement
- Cooling is by fans to maintain normal working temperature within the unit

Screen type	TFT LCD Portrait 16:9
Screen size	69.5" diagonal; active area 864 x 1537mm
Resolution	full HD 1920 x 1080 pixels; pixel pitch = 0.8mm
Brightness	max: 2000 nits; min: 285 nits; LED backlight
RGBW LCD sensor	located in top right hand corner
Ambient light sensor	auto-brightness control
Safety glass	9.5mm laminated (4mm sheets)
Screen centre point	1701* mm nominally above finished ground level
Door opening (digital)	top hinged assembly with bottom cam-operated secured latching mechanism
Backlit poster	LED backlight
Safety glass (poster)	6mm toughened
Door opening (poster)	top hinged assembly with bottom cam-operated latching mechanism
Material	stainless steel
Finish	textured powder coat black paint
PC	i5 4590T running Windows Embedded Standard 7
Connectivity	cellular 3G (upgradable to 4G)
Remote monitoring	Amscreen RDM monitoring & management system
Voltage/ current	230VAC +/-10% 50Hz; 8A @ 230VAC
Power consumption	typical: 1200-1500W; maximum: 2650W (end of life)
Load centre	remotely located with over-current & RCCB trip (30mA)
Temperature range	operational: -20C to +40C; storage: -20C to +60C
Humidity	operational: 5% to 95% relative humidity
Dimensions*	2950(H)x1336(W)x300(D) mm (interface control drawing details dimensions & fixings)
Weight	350* kg
Approvals	CE; EMC:EN55022,EN55024,EN61000-3-2/3-3;EN50121-4 safety: EN60950-1
Plinth	Incorporates mains feed, smart meter, consumer panel and photo-cell (for poster display)



For more information
please contact:

Karen Rankin
Development
D +44 (0) 207 478 2961
E Karen.Rankin@clearchannel.co.uk

Outdoor Digital Advertising Supporting Information

Introduction

Digital technology is changing the delivery of information. There are digital phones, digital cameras, digital televisions and radios, digital newspapers and now digital advertisement displays on bus shelters and freestanding units (FSUs). Digital advertising has already become the norm in indoor environments and many outdoor large format billboards have already converted to this format. The modernisation of the existing advertising estate is a natural process of evolution, particularly relevant in commercial areas and key arterial routes.

On bus shelter or FSU displays, digital technology produces poster images but these are changed electronically, negating the need for printing on paper or vinyl and the subsequent task of recycling the posters. The versatility that digital advertising provides means that advertising is able to be changed more often than the current two weekly cycle and provides a more direct service for our clients.

The use of modern technology to deliver images to the panels, allows not only commercial information to be displayed, but enables police and government agencies to deliver speedy emergency information and quick communication to the public. The advertising revenue raised helps support local authority services in the provision, cleaning and maintenance of bus shelters and other services.

Digital technology is here to stay and will continue to grow. Since 2011 digital expenditure on displays on outdoor advertising in the UK has risen from £128m in 2011 to £214m in 2013 (Source: Outdoor Media Centre) and is predicted to continue to grow at a fast pace in the future. We have recently received over 800 planning consent approvals nationwide and are currently rolling out a digital installation programme both in existing and new locations.

Existing Digital Units on the Highway

In 2011 a hundred digital displays were erected on bus shelters in Central London. Any concerns expressed, before they were erected, about them being far brighter than the traditional existing back illuminated display they replaced proved to be unfounded. No complaints have been received regarding these displays. The 100 panels are now accepted as part of the street scene in central London, including such key locations as:-

- Oxford Street, and Park Lane in Westminster
- Kensington High Street, Kensington & Chelsea
- Kings Cross & Euston Stations, Camden
- Shepherd's Bush, Hammersmith & Fulham

Illumination

The illumination of the panel to the viewer's eye is similar in brightness to the existing advertising panels using florescent lighting, and well within the recommended limits. The panel can be controlled and it is recognised that at night time less light is needed for the displays to be visible and more light is needed to be emitted during the day to compete with the sunlight strength. The overall effect is to ensure the advertising can be seen crisply, however with little effect on the environment than is already in place.

The brightness of the display will be controlled by the ambient environmental control, which automatically adjusts the brightness level of the screen to track the changes in light level in the environment throughout the day. This ensures that the perceived brightness of the display is maintained at a set level. The level of illumination during the hours of darkness will be 280cd/m². This is well below the maximum level recommended by the Institute of Lighting Engineers in their Technical Report Number 5, Brightness of Illuminated Advertisements which is 600cd/m² for this zone.

The digital panels will replace existing consented illuminated panels only. The existing panels are illuminated to 290cd/s and have been in place for many years, with no related issues. The light level dispersion of the new digital panel into the environment may be perceived as less than the traditional existing panel due to the illuminated area being considerably smaller in size than the 6 sheet display.

Digital Displays

The digitally generated display will produce sequential images. These will contain no full motion video or displays unless consent has been granted for such movement. Advertising copy shall not change more frequently than every 10 seconds and the transition to the next advertisement will be via a smooth fade. This is in line with the existing consented scrolling advertising units in the borough.

Advertisement Regulations

All digital displays shall conform to the five 'Standard Conditions' specified in Schedule 2 of The Town and Country Planning (Control of Advertisements) (England) Regulations 2007

Additional benefits of digital displays

- Any voidage in advertising space will be provided free of charge to the Council for generic Council campaign information.
- Flexibility to change copy at short notice and carry emergency public services announcements
- Advertising revenue supporting local authority services
- The flexibility it provides allows local businesses to access space at affordable prices in short term related slots, rather than the standard industry two week packages.
- Clear Channel regularly donates digital space free of charge to charities and as part of the outdoor industry initiative has worked closely with the Missing Persons Charity.
- Reduction in the printing of paper or PVC posters and the subsequent need to recycle them.



25.4m

Village Road O/S Nos: 124 -146
Revised position
Enfield London
EN1 2HB

Easting, Northing : 532896m, 194885m

BUSH HILL ROAD

Bush Hill Gardens

Bush Hill Parade

VILLAGE ROAD

Avenue Parade

QUEEN ANNE'S GROVE

Garage

24.4m

Page 99

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0m 10m 20m 30m



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MUNICIPAL YEAR 2017/2018 REPORT NO.**COMMITTEE:**

PLANNING COMMITTEE

23.01.2018.

REPORT OF:

Director - Regeneration and Environment

Contact Officers:

Isha Ahmed X3888 isha.ahmed@enfield.gov.uk
Robert Davy X2263 robert.davy@enfield.gov.uk

See Annexes 1 & 2

AGENDA – PART 1	ITEM
SUBJECT - S106 AGREEMENTS – MONITORING INFORMATION, MID YEAR REPORT WARDS: ALL	

1. SUMMARY

1.1 This report provides an update on the monitoring of Section 106 Agreements (S106) and progress on Section 106 matters during the period 1 April 2017 to 30 September 2017. It provides an overview of:

- The position regarding current S106 Agreements, categorised by constituency, including the type and amount of financial obligations, progress on spend and implementation of schemes;
- New S106 agreements agreed and signed since April 2017

1.2 This report is provided for information only. Members are invited to contact the officers named above for more information on individual schemes.

2. RECOMMENDATION

2.1 That Planning Committee note the contents of this Report and its Annexes.

3. S106 MONITORING OVERVIEW

3.1 Planning obligations (often referred to as S106 agreements) are legal agreements between developers and the Council for the provision of, for example, affordable housing, local training and jobs, and other site-specific mitigation measures to lessen the negative impacts of development. An S106 agreement is intended to make a development 'acceptable' in planning terms which would otherwise be deemed as unacceptable. Obligations under Section 106 can be either financial or non-financial in nature. The Council's Section 106 Supplementary Planning Document (SPD) provides further information on how the obligations system operates.

- 3.2 At 30 September 2017 there were 84 individual S106 agreements in the active programme where monies had been received, containing approximately 156 heads of terms. Projects are currently being delivered using these funds. The position regarding the implementation of these S106 agreements at the end of the monitoring period is set out in Annex 1. A copy of the spreadsheet has also been placed in the Members Library. An overview of the financial information contained in Annex 1 is set out in Table 1 below.

Table 1: Summary of S106 Funds Received and Expenditure Programmed

Status	Total Amount (£)
Opening Balance at the start of 2017/18	£6,435,015.15
Total amount of S106 payments received	+ £373,012.29
<u>In year movements:</u>	
<ul style="list-style-type: none"> • Sub-total of outward in year movements • Money moved to contingency • Total amount drawn down in 2017/18 	<ul style="list-style-type: none"> - £156,377.35 - £7,071.10 - £62,132.16
The total amount drawn down is broken down as follows:	
<ul style="list-style-type: none"> • Q1 Drawdown Total £62,132,16 • Q2 Drawdown Total £0.00 	
Interest received to 30 September 2017	+ £19,814.16
Closing balance at 30 September 2017	£6,609,332.09

- 3.3 Of the £373k received during the first half of 2017/18, the vast majority of the money (almost £319k) was for Affordable Housing. This figure is lower than the first half of the previous year. By itself this is not necessarily indicative of any particular trend, although several factors may be combining to affect the fall. Of the affordable housing contributions received during the first half of the year, the largest individual payment was received from 106 Camlet Way (£211,563.59).
- 3.4 In May 2016, a change in national policy reduced the circumstances where by contributions can be sought from smaller developments of 10 or fewer units. Although the Council can still seek contributions towards affordable housing where the floorspace of the site is at least 1,000 sq m or greater, there has been a much reported slow-down in sales and drop in prices at the higher-end of the residential market. As such, fewer applications of 1,000 sq m + have been submitted in comparison with previous years and the relationship between planning and the wider economy cannot be ignored.
- 3.5 Many Section 106 agreements contain clauses which require the monies to be spent within either a 5 or 10 year window. Following the completion of this period, any unexpended funds - plus the accumulated interest - should be returned to the

developer. Due to the length of the timeframes for spending the monies, it is not uncommon for initial project identification to take up to a year (or slightly longer), particular where large or more complex works will be undertaken.

4. KEY PROJECTS FUNDED USING SECTION 106 CONTRIBUTIONS

Spend during Q1 and Q2

- 4.1 Spend during Q1 and Q2 funded various small scale highways projects, including the Wilmer Way Zebra Crossing and a pelican crossing at Bramley Road.

Affordable Housing

- 4.2 The London Plan requires developments to make the maximum reasonable provision for Affordable Housing. Affordable Housing should be provided on-site in the first instance, although this can be provided off-site or through an in-lieu payment in exceptional circumstances. Affordable Housing development is covered by capital spending. The contributions are used to replenish such budgets. Section 106 funds are drawn down and the various contributions are allocated to projects as part of the draw down process at the end of each financial year.
- 4.3 S106 Affordable Housing contributions were used to help fund the 38-home development at Dujardin Mews, which completed and received its first tenants during the previous financial year. Dujardin Mews was the first social housing to be directly built by the Council for over 30 years. Affordable Housing contributions have also been spent on the New Avenue scheme.

Local Employment and Training

- 4.4 As part of any Section 106 obligations, any developments which are of sufficient size and scale should make provision to use local labour and recruit apprentices at a rate of 1 apprentice per £1m per contract value. Further information on the number of apprentices recruited and the use of financial contributions received towards Employment and Skills is available from the Business and Economic Development team.

Highways

- 4.5 Work on the Ponders End stretch of Cycle Enfield began during 2017/18. There are several different routes in the programme, each of which has been allocated different Section 106 contributions (up to a maximum of 5, to comply with the pooling restrictions set out under Regulation 122 of the CIL Regulations, 2010).

Education

- 4.6 Education is covered by capital spending. Section 106 funds are drawn down and contributions are only allocated to projects at the end of each financial year.

5 S106 FUNDS AGREED BUT NOT YET RECEIVED

- 5.1 In addition to the agreements where monies have been received, there are a further set of 123 agreements where contributions have been agreed and planning consents granted - but funds have not yet been received. These agreements are shown in Annex 2. Should each of these planning permissions be activated, the Council could potentially receive a further £10,829,654.46
- 5.2 In these cases, the payments have not been received as the relevant 'trigger points' (i.e. stages of development) have not yet been reached. Typical 'trigger points' for receipt of payments are the commencement of development works on site, or the first occupation of the development.
- 5.3 Attention should, however, also be drawn to the fact that not all financial contributions agreed via signed S106 agreements will ultimately be received by the Council. While Section 106 of the Town and Country Planning Act 1990 allows the Local Planning Authority to require and enforce the payment and infrastructure obligations, it also contains a provision which entitles the other parties to apply to the Council to vary or delete any obligations contained in their agreement. Potential variation of the S106 can happen at any point in the process between the signing of the initial S106 agreement and completion of the development. Variation may reduce the value of, or strike out any previously agreed contributions.
- 5.4 Additionally, monies in a completed S106 agreement would not become due if the landowner/developer simply decides not to progress development after permission has been granted. In cases where a planning permission expires after its 3 year lifespan, new planning application(s) and S106 agreement(s) may supersede an earlier agreement. National policy changes can also impact on receipts, as was the case following the Court of Appeal ruling on small sites (May 2016), which resulted in contributions no longer being sought for residential proposals providing 10 or fewer units where the gross floorspace of the site does not exceed 1000 sq m.
- 5.5 In addition to the 123 agreements listed in Annex 2, an additional four agreements were completed during the first half of 2017/18. These are:
- Alma Estate (Section 106 signed 18.08.2017)
 - Monmouth Road, Edmonton Green (planning permission granted by the Inspector following an appeal hearing on 19 July 2017, Section 106 signed 25.08.2017)
 - Trent Park (Section 106 signed 29.09.2017)
 - 6, 8 and 10 Crescent Road (Section 106 signed 30.06.2017)
- 5.6 As the signed copies of these agreements had not been received from Legal Services by 30 September, information relating to those schemes does not appear in Annex 2. These will be reflected in the end-of-year 2017/18 Section 106 Monitoring Report.
- 5.7 The Monmouth Road scheme may be of particular interest to members with an interest in Housing issues. Once the development is operational, it will be the first purpose-built "Build to Rent" (BTR) scheme in Enfield. This tenure has been promoted by Government and has featured in the national newspapers over recent months. The new draft London Plan, published in November 2017, also contains bespoke policies with the aim of growing the BTR sector.

6. COMMENTS OF THE DIRECTOR OF FINANCE, RESOURCES AND CUSTOMER SERVICES AND OTHER DEPARTMENTS

Financial Implications

- 6.1 The financial position as described in the report has been discussed with Finance staff and reflects the position as reported in the S106 monitor as of 30 September 2017. Annex 1 contains proposals for the allocation of approved S106 monies to specific work programmes. Approvals of individual schemes within the proposed programme are subject to separate reports and full financial appraisal. Expenditure incurred on these schemes will be reported as part of the regular monitoring process and drawn down from available S106 funds at year-end. Amounts committed to projects including the nature of potential expenditure have been updated following advice from officers leading on individual schemes.

Legal Implications

- 6.2 By virtue of Section 106 of the Town and Country Planning Act (as amended) the Council may secure planning obligations to make development acceptable which would otherwise not be acceptable in planning terms. Obligations must be secured in line with the Council's Section 106 SPD. Where financial contributions are required, the terms of the obligation dictate the manner in which any financial obligation held by the Council may be spent.

Background Papers

- 6.3 None.

Annex 1: Total Monies Received

Hard copies will be placed in the Members library. If these are not legible, electronic copies of the spreadsheet are available from Governance Services.

Annex 2: Agreements signed where payments have not yet been received

Hard copies will be placed in the Members library. If these are not legible, electronic copies of the spreadsheet are available from Governance Services.

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ANNEX 2

S106 AGREEMENTS WHERE PAYMENTS ARE STILL AWAITED

Developer	Site address and Planning Reference	Development Description	Date Agreement Signed	Ward	Constituency	Total financial obligation	Obligation Split	SPEND DEADLINE - BLUE = Project Complete; RED = DEADLINE PASSED, OR APPROACHING WITHIN 12 MONTHS	Details of Obligations	LEAD OFFICER	Dept	Team	Trigger point for payment/ Comments
LEE & HINWELL Industrial Developments Limited	Unit 6 Riverside Industrial Estate, Morison Road, Enfield EN3 4ND PONDERS END TP/08/0293	Construction of estate road and erection of 3 x 2-storey blocks comprising 27 business units for use within classes B1(C), B2 and B8 (light industrial, general industrial and storage / distribution uses) with associated landscaping, parking, access and	27.04.09	Ponders End	Edmonton	40,000.00	40,000.00	20.01.2016	Highway improvement works Works to Morison Road to include (but not limited to) the: * Implementation of revised loading/unloading and parking restrictions * Provision of new signage * The installation of measures to assist cyclists and pedestrians	David Taylor	R&E	T&T	Building control database has been checked. No sign of development commencing. Developer has confirmed that works have not started on the site.
London Industrial Partnerships Limited	44-47 East Duck Lane & 3-4 Ponders End Industrial Estate PONDERS END 06/12/04	Part redevelopment and part refurbishment of site to provide 35 units for B1 (Business), B2 (General Industry) and B8 (Storage / Distribution) uses incorporating mezzanine floors, associated car parking, access and landscaping.	13.06.07	Ponders End	Edmonton	15,000.00	15,000.00	5th anniversary of payment	Installation of Woodscape Furniture in area edge red on plan No. 2 or such other location in the Brimstone Business Area	TBC	R&E	T&T	See Properties confirmed works have not commenced on site. No further planning details have been submitted to development management since March 2007.
Kuan Leng, Parritt Leng	TP/07/0611 57 Fore Street Edmonton LOWER EDMONTON	Demolition of existing buildings and erection of a part 3-storey, part 9-storey block (total height 29.5m) comprising two retail units on ground floor (S20 sign, Class A1 use) and 24 residential units above (2 x 2-bed, 2 x 1-bed) with associated basement cycle and car parking accessed via Grove Street.	12.12.07	Upper Edmonton	Edmonton	66,000.00	30,000.00	NO DEADLINE	Education £20,744 primary education and £15,848 secondary education	Keith Rowley	S&CS	EDU	No planning details have been submitted to development management. Building control database checked. No sign of development commencing.
Kuan Leng, Parritt Leng	TP/07/0611 57 Fore Street Edmonton LOWER EDMONTON	Demolition of existing buildings and erection of a part 3-storey, part 9-storey block (total height 29.5m) comprising two retail units on ground floor (S20 sign, Class A1 use) and 24 residential units above (2 x 2-bed, 2 x 1-bed) with associated basement cycle and car parking accessed via Grove Street.	12.12.07	Upper Edmonton	Edmonton	66,000.00	36,000.00	NO DEADLINE	Highway Works All works necessary to form pedestrian and safety improvements in the vicinity of the site to be carried out by the Council or on the vicinity of the junction of Fore Street and Grove Street as described in the Fourth Schedule of the Agreement	David Taylor	R&E	T&T	
Country Side Properties UK & LBE	Highmead Estate at Fore St. N18 2SL LBE/10/0037	Redevelopment of site to provide 4 commercial and 120 residential units (comprising a part 6-storey, part 8-storey block of 1092 sqm of commercial floorspace (A1 Retail, A2 offices, A3 Restaurant and A4 Drinking establishments) at ground floor, 3 x 3-bed maisonettes, 4x 1-bed, 33 x 2-bed and 17 x 3-bed flats with balconies to front and rear and 3 blocks of 5 x 3-storey, 4-bed terraced houses with balcony at second floor rear, 1 block of 6 x 3-bed part 2-storey, part 3-storey town houses with integral garages and sun terrace at second floor rear and 1 x 2-bed single family dwelling, a 3-storey block of 180 sqm of community space (D1 non residential institutions), vehicular access to Alpha Road, landscaping works and 28 car parking spaces and 137 cycle parking spaces and change of use of car park at Trafalgar Place from public to private parking.	30.03.12	Upper Edmonton	Edmonton	267,214.00	50,000.00	Within 10 years of the receipt of payment	Community Facilities Contribution for the provision of a community space to shell and core	TBC	TBC	TBC	All payments are due on commencement of development. This permission is not going to be implemented as a more recent application has been submitted, approved under which works are about to start on site.
Country Side Properties UK & LBE	Highmead Estate at Fore St. N18 2SL LBE/10/0037	Redevelopment of site to provide 4 commercial and 120 residential units (comprising a part 6-storey, part 8-storey block of 1092 sqm of commercial floorspace (A1 Retail, A2 offices, A3 Restaurant and A4 Drinking establishments) at ground floor, 3 x 3-bed maisonettes, 4x 1-bed, 33 x 2-bed and 17 x 3-bed flats with balconies to front and rear and 3 blocks of 5 x 3-storey, 4-bed terraced houses with balcony at second floor rear, 1 block of 6 x 3-bed part 2-storey, part 3-storey town houses with integral garages and sun terrace at second floor rear and 1 x 2-bed single family dwelling, a 3-storey block of 180 sqm of community space (D1 non residential institutions), vehicular access to Alpha Road, landscaping works and 28 car parking spaces and 137 cycle parking spaces and change of use of car park at Trafalgar Place from public to private parking.	30.03.12	Upper Edmonton	Edmonton	267,214.00	118,214.00	Within 10 years of the receipt of payment	Education Contribution towards educational facilities required as a consequence	Keith Rowley	S&CS	EDU	All payments are due on commencement of development. This permission is not going to be implemented as a more recent application has been submitted, approved under which works are about to start on site.
Country Side Properties UK & LBE	Highmead Estate at Fore St. N18 2SL LBE/10/0037	Redevelopment of site to provide 4 commercial and 120 residential units (comprising a part 6-storey, part 8-storey block of 1092 sqm of commercial floorspace (A1 Retail, A2 offices, A3 Restaurant and A4 Drinking establishments) at ground floor, 3 x 3-bed maisonettes, 4x 1-bed, 33 x 2-bed and 17 x 3-bed flats with balconies to front and rear and 3 blocks of 5 x 3-storey, 4-bed terraced houses with balcony at second floor rear, 1 block of 6 x 3-bed part 2-storey, part 3-storey town houses with integral garages and sun terrace at second floor rear and 1 x 2-bed single family dwelling, a 3-storey block of 180 sqm of community space (D1 non residential institutions), vehicular access to Alpha Road, landscaping works and 28 car parking spaces and 137 cycle parking spaces and change of use of car park at Trafalgar Place from public to private parking.	30.03.12	Upper Edmonton	Edmonton	267,214.00	10,000.00	Within 10 years of the receipt of payment	Employment and Training Strategy and Fee towards monitoring the Employment Training Strategy by the Council	Anna Laughlin	R&E	RED	All payments are due on commencement of development. This permission is not going to be implemented as a more recent application has been submitted, approved under which works are about to start on site.
Country Side Properties UK & LBE	Highmead Estate at Fore St. N18 2SL LBE/10/0037	Redevelopment of site to provide 4 commercial and 120 residential units (comprising a part 6-storey, part 8-storey block of 1092 sqm of commercial floorspace (A1 Retail, A2 offices, A3 Restaurant and A4 Drinking establishments) at ground floor, 3 x 3-bed maisonettes, 4x 1-bed, 33 x 2-bed and 17 x 3-bed flats with balconies to front and rear and 3 blocks of 5 x 3-storey, 4-bed terraced houses with balcony at second floor rear, 1 block of 6 x 3-bed part 2-storey, part 3-storey town houses with integral garages and sun terrace at second floor rear and 1 x 2-bed single family dwelling, a 3-storey block of 180 sqm of community space (D1 non residential institutions), vehicular access to Alpha Road, landscaping works and 28 car parking spaces and 137 cycle parking spaces and change of use of car park at Trafalgar Place from public to private parking.	30.03.12	Upper Edmonton	Edmonton	267,214.00	9,000.00	Within 10 years of the receipt of payment	Jobnet contribution towards Jobnet Team to provide job brokering service to tenants of commercial units for 3 years	Anna Laughlin	R&E	RED	All payments are due on commencement of development. This permission is not going to be implemented as a more recent application has been submitted, approved under which works are about to start on site.
Country Side Properties UK & LBE	Highmead Estate at Fore St. N18 2SL LBE/10/0037	Redevelopment of site to provide 4 commercial and 120 residential units (comprising a part 6-storey, part 8-storey block of 1092 sqm of commercial floorspace (A1 Retail, A2 offices, A3 Restaurant and A4 Drinking establishments) at ground floor, 3 x 3-bed maisonettes, 4x 1-bed, 33 x 2-bed and 17 x 3-bed flats with balconies to front and rear and 3 blocks of 5 x 3-storey, 4-bed terraced houses with balcony at second floor rear, 1 block of 6 x 3-bed part 2-storey, part 3-storey town houses with integral garages and sun terrace at second floor rear and 1 x 2-bed single family dwelling, a 3-storey block of 180 sqm of community space (D1 non residential institutions), vehicular access to Alpha Road, landscaping works and 28 car parking spaces and 137 cycle parking spaces and change of use of car park at Trafalgar Place from public to private parking.	30.03.12	Upper Edmonton	Edmonton	267,214.00	50,000.00	Within 10 years of the receipt of payment	Open Space towards improvements and maintenance of St Johns Open Space	Matt Watts	R&E	PARKS	All payments are due on commencement of development. This permission is not going to be implemented as a more recent application has been submitted, approved under which works are about to start on site.
Country Side Properties UK & LBE	Highmead Estate at Fore St. N18 2SL LBE/10/0037	Redevelopment of site to provide 4 commercial and 120 residential units (comprising a part 6-storey, part 8-storey block of 1092 sqm of commercial floorspace (A1 Retail, A2 offices, A3 Restaurant and A4 Drinking establishments) at ground floor, 3 x 3-bed maisonettes, 4x 1-bed, 33 x 2-bed and 17 x 3-bed flats with balconies to front and rear and 3 blocks of 5 x 3-storey, 4-bed terraced houses with balcony at second floor rear, 1 block of 6 x 3-bed part 2-storey, part 3-storey town houses with integral garages and sun terrace at second floor rear and 1 x 2-bed single family dwelling, a 3-storey block of 180 sqm of community space (D1 non residential institutions), vehicular access to Alpha Road, landscaping works and 28 car parking spaces and 137 cycle parking spaces and change of use of car park at Trafalgar Place from public to private parking.	30.03.12	Upper Edmonton	Edmonton	267,214.00	30,000.00	Within 10 years of the receipt of payment	Public Art Contribution towards the provision of public art within 200m of the boundaries of the Upper Edmonton District Centre	Lorraine Cox	R&E	CULTURAL SERVICES	All payments are due on commencement of development. This permission is not going to be implemented as a more recent application has been submitted, approved under which works are about to start on site.
Country Side Properties UK & LBE	Highmead Estate at Fore St. N18 2SL LBE/10/0037	Redevelopment of site to provide 4 commercial and 120 residential units (comprising a part 6-storey, part 8-storey block of 1092 sqm of commercial floorspace (A1 Retail, A2 offices, A3 Restaurant and A4 Drinking establishments) at ground floor, 3 x 3-bed maisonettes, 4x 1-bed, 33 x 2-bed and 17 x 3-bed flats with balconies to front and rear and 3 blocks of 5 x 3-storey, 4-bed terraced houses with balcony at second floor rear, 1 block of 6 x 3-bed part 2-storey, part 3-storey town houses with integral garages and sun terrace at second floor rear and 1 x 2-bed single family dwelling, a 3-storey block of 180 sqm of community space (D1 non residential institutions), vehicular access to Alpha Road, landscaping works and 28 car parking spaces and 137 cycle parking spaces and change of use of car park at Trafalgar Place from public to private parking.	30.03.12	Upper Edmonton	Edmonton	267,214.00	14,161.00	Within 10 years of the receipt of payment	Travel Plan & Car Club Affordable Housing (24 units) Community Heating System	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Due on commencement
Kedco Harward Ltd	Yard Gibbs Rd. Montagu Ind. Est. TP/09/1862	Use of site as an industrial facility for the production of renewable energy from waste timber involving extension to existing building, new pump house, substation and condensers with associated works and formation of a new wet to Gibbs Road.	19.04.12	Edmonton Green	Edmonton	70,000.00	5,000.00	Within 10 years of the receipt of payment	Travel Bond In the event that the Travel Plan does not meet set targets to use for traffic and parking surveys etc	David Taylor	R&E	T&T	Prior to commencement of development. No planning details have been submitted to development management. Building control database checked. No sign of development commencing.
Kedco Harward Ltd	Yard Gibbs Rd. Montagu Ind. Est. TP/09/1862	Use of site as an industrial facility for the production of renewable energy from waste timber involving extension to existing building, new pump house, substation and condensers with associated works and formation of a new wet to Gibbs Road.	19.04.12	Edmonton Green	Edmonton	70,000.00	30,000.00	Within 10 years of the receipt of payment	Air Quality Contribution for monitoring air quality in the local area	See McDavid	R&E	REGULATORY SERVICES	Prior to commencement of development. No planning details have been submitted to development management. Building control database checked. No sign of development commencing.
Kedco Harward Ltd	Yard Gibbs Rd. Montagu Ind. Est. TP/09/1862	Use of site as an industrial facility for the production of renewable energy from waste timber involving extension to existing building, new pump house, substation and condensers with associated works and formation of a new wet to Gibbs Road.	19.04.12	Edmonton Green	Edmonton	70,000.00	35,000.00	Within 10 years of the receipt of payment	Infrastructure Delivery Fund to assist small companies with costs of infrastructure to enable them to connect to a supply of heat energy Energy	TBC	R&E	TBC	Prior to commencement of development. No planning details have been submitted to development management. Building control database checked. No sign of development commencing.
Currie Motors Limited and Gural Aku	293-303 Fore Street, London N9 OPD TP/11/0627	Change of use from car sales and service workshops to a banqueting suite with a single storey rear extension, first floor extension to provide ancillary offices and enclosure to existing first floor car park and access ramp with new pedestrian access and external staircase at front, 2 retail units and cafe with community hall at rear, alterations to rear fenestration and reconfiguration of car park layout (PART RETROSPECTIVE).	01.06.12	Edmonton Green	Edmonton	3,700.00	Non monetary	NO DEADLINE	Lease for Parking Area	TBC	R&E	T&T	Prior to signing the S106
Currie Motors Limited and Gural Aku	293-303 Fore Street, London N9 OPD TP/11/0627	Change of use from car sales and service workshops to a banqueting suite with a single storey rear extension, first floor extension to provide ancillary offices and enclosure to existing first floor car park and access ramp with new pedestrian access and external staircase at front, 2 retail units and cafe with community hall at rear, alterations to rear fenestration and reconfiguration of car park layout (PART RETROSPECTIVE).	01.06.12	Edmonton Green	Edmonton	3,700.00	Non monetary	NO DEADLINE	Details for lighting, parking, surfacing and access	R&E	T&T	T&T	
Currie Motors Limited and Gural Aku	293-303 Fore Street, London N9 OPD TP/11/0627	Change of use from car sales and service workshops to a banqueting suite with a single storey rear extension, first floor extension to provide ancillary offices and enclosure to existing first floor car park and access ramp with new pedestrian access and external staircase at front, 2 retail units and cafe with community hall at rear, alterations to rear fenestration and reconfiguration of car park layout (PART RETROSPECTIVE).	01.06.12	Edmonton Green	Edmonton	3,700.00	3,000.00	NO DEADLINE	Travel Plan + fee	David Taylor	R&E	T&T	
Currie Motors Limited and Gural Aku	293-303 Fore Street, London N9 OPD TP/11/0627	Change of use from car sales and service workshops to a banqueting suite with a single storey rear extension, first floor extension to provide ancillary offices and enclosure to existing first floor car park and access ramp with new pedestrian access and external staircase at front, 2 retail units and cafe with community hall at rear, alterations to rear fenestration and reconfiguration of car park layout (PART RETROSPECTIVE).	01.06.12	Edmonton Green	Edmonton	3,700.00	700.00	NO DEADLINE	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	PAID
St Modwens Properties PC	Edmonton Green Shopping Centre The Broadway N9 0TZ TP/10/0859	Erection of a 4-storey building comprising a 73 bed hotel (Class C1).	14.12.10	Edmonton Green	Edmonton	Non monetary	Non monetary	NO DEADLINE	Construction Employment Strategy to submit a draft strategy to the Council and implement as approved by the Council	Mary O'Sullivan	R&E	RED	Non financial planning obligations are being pursued.
St Modwens Properties PC	Edmonton Green Shopping Centre The Broadway N9 0TZ TP/10/0859	Erection of a 4-storey building comprising a 73 bed hotel (Class C1).	14.12.10	Edmonton Green	Edmonton	Non monetary	Non monetary	NO DEADLINE	Hotel Employment Strategy to submit a draft strategy to the Council and implement as approved by the Council and work with Enfield Jobnet to promote recruitment of residents within a reasonable travelling distance to the hotel (accounting for at least 90%)	Mary O'Sullivan	R&E	RED	Non financial planning obligations are being pursued.
St Modwens Properties PC	Edmonton Green Shopping Centre The Broadway N9 0TZ TP/10/0859	Erection of a 4-storey building comprising a 73 bed hotel (Class C1).	14.12.10	Edmonton Green	Edmonton	Non monetary	Non monetary	NO DEADLINE	Recruitment Report to submit to Enfield Jobnet prior to occupation	Mary O'Sullivan	R&E	RED	Non financial planning obligations are being pursued.
London Academies Enterprise Trust	The Nightingale Academy Turin Road, Edmonton, London N9 8DQ N12.02355FA	Single storey extension to sports hall to create a cafe and replacement door to north east elevation; construction of new student entrance to south east elevation and new visitors entrance to north west elevation; alterations to Learning Resource Centre comprising new glazing and cladding, mezzanine floor comprising 2 additional classrooms, replacement windows to north east elevations of main building and adjacent student entrance; erection of 3 free-standing canopy seats of main building; new artificial sports pitch together with the provision of 10 floodlighting columns around it with fencing; provision of additional new car parking spaces along site access leading from Turin Road, extension of car parking area across eastern boundary of sports hall open space together with alteration to layout of north and south car parks; construction of new footpath with new lighting across open space area; continued use of existing temporary fenced play ground area within open space area; provision of compensatory replacement new open space area on land adjacent to existing sports block facing St Josephs Road together with new fencing, new pedestrian student entrance to Academy from St. Josephs Road and alterations to access on Nightingale Road as well as new 3m high fencing to rear boundary backing onto properties in St. Marys Road, new hard surfacing and security gates.	12.02.13	Jubilee	Not exceeding £15,000	non monetary	NO DEADLINE	Exchange of Land	TBC	PROPERTY	TBC	TBC	Not to occupy development until the transfer of the Blue Land in consideration of the Council transferring the Green Land to the Academy at nil costs.

London Academies Enterprise Trust	The Nightingale Academy Turin Road, Edmonton, London N9 8DQ P12-01255PLA	Single storey extension to sports hall to create a cafe and replacement door to north east elevation; construction of new student entrance to south east elevation and new visitors entrance to north west elevation; alterations to Learning Resource Centre comprising new glazing and cladding, mezzanine floor comprising 2 additional classrooms, replacement windows to north east elevations of main building and adjacent student entrance; erection of 3 free standing canopies south of main building; new artificial sports pitch together with the provision of 10 floodlighting columns around it with fencing; provision of additional new car parking spaces along site access leading from Turin Road; extension of car parking area across eastern boundary of public open space together with alterations to layout of north and south car parks; construction of new footpath with new lighting across open space area; continued use of existing temporary fenced play ground area within open space area; provision of compensatory replacement new open space area on land adjacent to existing sports block facing St Josephs Road together with new fencing; new pedestrian student entrance in to Academy from St. Josephs Road and alterations to access on Nightingale Road as well as new 3m high fencing to rear boundary backing onto properties in St. Marys Road, new hard surfacing and security gates.	12.02.13	Jubilee	Not exceeding £15,000	non monetary	NO DEADLINE	Provision of a Footpath	TBC	R&E	T&T	The Academy to construct a footpath on the Black Hatched Land in strict accordance with the Councils specification relating to design in accordance with the construction programme (annex)
London Academies Enterprise Trust	The Nightingale Academy Turin Road, Edmonton, London N9 8DQ P12-01255PLA	Single storey extension to sports hall to create a cafe and replacement door to north east elevation; construction of new student entrance to south east elevation and new visitors entrance to north west elevation; alterations to Learning Resource Centre comprising new glazing and cladding, mezzanine floor comprising 2 additional classrooms, replacement windows to north east elevations of main building and adjacent student entrance; erection of 3 free standing canopies south of main building; new artificial sports pitch together with the provision of 10 floodlighting columns around it with fencing; provision of additional new car parking spaces along site access leading from Turin Road; extension of car parking area across eastern boundary of public open space together with alteration to layout of north and south car parks; construction of new footpath with new lighting across open space area; continued use of existing temporary fenced play ground area within open space area; provision of compensatory replacement new open space area on land adjacent to existing sports block facing St Josephs Road together with new fencing; new pedestrian student entrance in to Academy from St. Josephs Road and alterations to access on Nightingale Road as well as new 3m high fencing to rear boundary backing onto properties in St. Marys Road, new hard surfacing and security gates.	12.02.13	Jubilee	Not exceeding £5,000	Not exceeding £15,000	NO DEADLINE	Lighting for the provision of sufficient lighting for the footpath include EA 400 for the long term maintenance of the installed lighting referred to in para 5.2 list b agreement	TBC	R&E	T&T	Provided that such lighting shall be completed in accordance with the construction programme referred to at para 5.2.1 above. To be requested within 20 days of completion of the lighting provision.
Turkish Bank UK Limited & Hamdullah Epolat	Land at 2, 3 & 4 Princes Road N18 3PR	Variation of condition 12 of TP/07/1029 to increase capacity from 250 to 500 people.	05.08.13	Edmonton Green	350.00	Non monetary	NO DEADLINE	To keep site available for use of parking in connection with the use of the function hall at 4 Princes Road for events with an attendance of more than 250 people unless and until planning permission expires		R&E	T&T	
Turkish Bank UK Limited & Hamdullah Epolat	Land at 2, 3 & 4 Princes Road N18 3PR	Variation of condition 12 of TP/07/1029 to increase capacity from 250 to 500 people.	05.08.13	Edmonton Green	350.00	350.00	N/A	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Upon Completion. Received.
Bartlays Bank Plc & Sarah & David Studman	26 Woodstock Crescent, London N9 7TY	dition of No 26 Woodstock Crescent and rear outbuildings to allow redevelopment comprising 1 x 3-bed detached single family dwelling with rear dormer and a row of 4 x 3-bed town houses with associated parking and landscaping.	21.08.13	Jubilee	80,041.40	45,629.40		Affordable Housing Contribution towards the provision of affordable housing in the borough	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	On occupation of the first housing unit
Bartlays Bank Plc & Sarah & David Studman	26 Woodstock Crescent, London N9 7TY	dition of No 26 Woodstock Crescent and rear outbuildings to allow redevelopment comprising 1 x 3-bed detached single family dwelling with rear dormer and a row of 4 x 3-bed town houses with associated parking and landscaping.	21.08.13	Jubilee	80,041.40	34,412.00		Education Contribution towards the provision of educational facilities within the Borough required as a consequence of the scheme	K.Rowley	S&CS	EDU	On occupation of the first housing unit
Bartlays Bank Plc & Sarah & David Studman	26 Woodstock Crescent, London N9 7TY	dition of No 26 Woodstock Crescent and rear outbuildings to allow redevelopment comprising 1 x 3-bed detached single family dwelling with rear dormer and a row of 4 x 3-bed town houses with associated parking and landscaping.	21.08.13	Jubilee	80,041.40	4,002.07		S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	On commencement of development
Sirocco Investments Ltd	159 & 159a Silver Street London N18 1PF	Conversion existing house in multiple occupation (HMO) into 8 flats comprising 4 x studio and 2 x 1 x 1 bed self contained flats (RETROPECTIVE).	2.9.13	Haselbury	37,247.05	34,265.40	Within 5 years from the date of receipt of payment	Affordable Housing Contribution towards the off site provision of affordable housing in the borough	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	Prior to commencement of development
Sirocco Investments Ltd	159 & 159a Silver Street London N18 1PF	Conversion existing house in multiple occupation (HMO) into 8 flats comprising 4 x studio and 2 x 1 x 1 bed self contained flats (RETROPECTIVE).	2.9.13	Haselbury	37,247.05	1,207.98	Within 5 years from the date of receipt of payment	Education Contribution towards the provision of educational facilities within the Borough required as a consequence of the scheme	K.Rowley	S&CS	EDU	Prior to commencement of development
Sirocco Investments Ltd	159 & 159a Silver Street London N18 1PF	Conversion existing house in multiple occupation (HMO) into 8 flats comprising 4 x studio and 2 x 1 x 1 bed self contained flats (RETROPECTIVE).	2.9.13	Haselbury	37,247.05	1,773.67	Within 5 years from the date of receipt of payment	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	On completion of the agreement
Segro Properties Limited (Owner)	Phase 2 Navigation Park, Monson Road EN3 4NQ, P12-0264PLA	Redevelopment of site by the erection of 15,000 sq.m. of buildings within use classes B1c/B2 and B8, together with car parking, service areas, landscaping, access roads, plant and ancillary offices. (Outline - all matters reserved)	30.09.13	Ponders End	3,925.00		Within 10 years from the date of receipt of payment	Employment and Skills Strategy Local Labour Return Business and Employment Initiative Contribution in lieu of the provision of Local training or employment placements as set out in the Employment and Skills Strategy to be used towards jobsnet	Anna Loughlin	R&E	BED	E&SS to be submitted prior to commencement. LLR to be submitted prior to occupation. If LLR fails to demonstrate owner has provided a min. of one local employment or training placement per training week
Segro Properties Limited (Owner)	Phase 2 Navigation Park, Monson Road EN3 4NQ, P12-0264PLA	Redevelopment of site by the erection of 15,000 sq.m. of buildings within use classes B1c/B2 and B8, together with car parking, service areas, landscaping, access roads, plant and ancillary offices. (Outline - all matters reserved)	30.09.13	Ponders End	3,925.00	3,225.00	Within 10 years from the date of receipt of payment	Travel Plan Travel Plan Monitoring Fee	Anna Jakacka	R&E	T&T	Payment due prior to commencement of development, submission plan is due prior to occupation
Segro Properties Limited (Owner)	Phase 2 Navigation Park, Monson Road EN3 4NQ, P12-0264PLA	Redevelopment of site by the erection of 15,000 sq.m. of buildings within use classes B1c/B2 and B8, together with car parking, service areas, landscaping, access roads, plant and ancillary offices. (Outline - all matters reserved)	30.09.13	Ponders End	3,925.00	700.00	Within 10 years from the date of receipt of payment	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	On completion of agreement
National Grid Twenty Seven Limited & National Grid Gas plc	Relating to the development at Former Gas Works, National Grid Site, Willoughby Lane N17 0RY	Temporary stockpiling of London Clay for a period of 24 months on eastern side of the site.	28.11.13	Upper Edmonton	700.00	Non Monetary	No Deadline	West Development To submit for approval baseline levels survey of site & to dismantle gas holders by no later than 15 May 2015	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Prior to commencement of the West Development
National Grid Twenty Seven Limited & National Grid Gas plc	Relating to the development at Former Gas Works, National Grid Site, Willoughby Lane N17 0RY	Temporary stockpiling of London Clay for a period of 24 months on eastern side of the site.	28.11.13	Upper Edmonton	700.00	Non Monetary	No Deadline	East Development To submit for approval baseline levels survey of site & to dismantle gas holders by no later than 15 May 2015	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Prior to commencement of the East Development
National Grid Twenty Seven Limited & National Grid Gas plc	Relating to the development at Former Gas Works, National Grid Site, Willoughby Lane N17 0RY	Temporary stockpiling of London Clay for a period of 24 months on eastern side of the site.	28.11.13	Upper Edmonton	700.00	700.00	No Deadline	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	TBC if paid
IKEA Properties Ltd	Land at Glover Drive London N18 3HF; P12-01399PLA	Development of extension to the west of the building to provide 3,929 sq.m of floor space with undercroft car parking, together with extension to existing mezzanine to provide additional 1,183 sq.m of additional floor space.	17.07.2015	Edmonton	3,431.40	3,431.40	No Deadline	Travel Plan Monitoring Fee	Anna Jakacka	R&E	T&T	PAID 17.07.15
IKEA Properties Ltd	Land at Glover Drive London N18 3HF; P12-01399PLA	Development of extension to the west of the building to provide 3,929 sq.m of floor space with undercroft car parking, together with extension to existing mezzanine to provide additional 1,183 sq.m of additional floor space.	17.07.2015	Edmonton	3,431.40	3,431.40	No Deadline	Travel Plan	Anna Jakacka	R&E	T&T	Due prior to commencement. Development should not commence until Travel Plan has been approved by the Council (in consultation with TfL)
Mong Ngai Liu and Albert Liu	Spencer House, Brentham Road Edmonton N18 2UJ P13-00879PLA	Conversion of existing building and addition of 2nd floor extension with terrace area to provide 7x flats comprising 1 x 1-bed, 3 x 2-bed, and 3 x 3-bed, including undercroft parking, cycle spaces, new entrance gates to site, construction of external staircase, side extensions at first floor to east elevation and 3 x balconies to west elevation.	15.01.15	Edmonton Green	41,774.20	26,984.95	No Deadline	Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	Payable on or prior to first occupation
Mong Ngai Liu and Albert Liu	Spencer House, Brentham Road Edmonton N18 2UJ P13-00879PLA	Conversion of existing building and addition of 2nd floor extension with terrace area to provide 7x flats comprising 1 x 1-bed, 3 x 2-bed, and 3 x 3-bed, including undercroft parking, cycle spaces, new entrance gates to site, construction of external staircase, side extensions at first floor to east elevation and 3 x balconies to west elevation.	15.01.15	Edmonton Green	41,774.20	12,800.00	No Deadline	Education Contribution towards the provision of educational facilities in Enfield required as a consequence of development	K.Rowley	S&CS	EDU	Payable on or prior to first occupation
Mong Ngai Liu and Albert Liu	Spencer House, Brentham Road Edmonton N18 2UJ P13-00879PLA	Conversion of existing building and addition of 2nd floor extension with terrace area to provide 7x flats comprising 1 x 1-bed, 3 x 2-bed, and 3 x 3-bed, including undercroft parking, cycle spaces, new entrance gates to site, construction of external staircase, side extensions at first floor to east elevation and 3 x balconies to west elevation.	15.01.15	Edmonton Green	41,774.20	1,989.25	No Deadline	Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Payable on or before commencement date
Stephen Potter and Debra Karen Potter	78 Picketts Lock Lane, P14-0333PLA	Subdivision of site and erection of 1 x 2 storey house	11.09.14	Lower Edmonton	19,256.00	11,431.09	Within 10 years of date of receipt	Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	Due prior to commencement
Stephen Potter and Debra Karen Potter	78 Picketts Lock Lane, P14-0333PLA	Subdivision of site and erection of 1 x 2 storey house	11.09.14	Lower Edmonton	19,256.00	6,907.96	Within 10 years of date of receipt	Education Contribution towards the provision of educational facilities in Enfield required as a consequence of development	K.Rowley	S&CS	EDU	Due prior to commencement
Stephen Potter and Debra Karen Potter	78 Picketts Lock Lane, P14-0333PLA	Subdivision of site and erection of 1 x 2 storey house	11.09.14	Lower Edmonton	19,256.00	916.95	Within 10 years of date of receipt	Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Due prior to commencement
Capan Er	136 Chichester Road N9 9DG P13-02146PLA	Demolition of garages and erection of 2 No. 3-bed terraced single family dwellings with front dormers at first floor.	24.02.14	TBC	68,907.00	51,810.00	No Deadline	Education Contribution towards the provision of educational facilities within the Borough required as a consequence of the scheme	Kaith Rowley	S&CS	EDU	To pay 50% within 3 months of the commencement date. To pay remaining 50% within 5 months of the commencement date
Capan Er	136 Chichester Road N9 9DG P13-02146PLA	Demolition of garages and erection of 2 No. 3-bed terraced single family dwellings with front dormers at first floor.	24.02.14	TBC	68,907.00	13,816.00	No Deadline	Affordable Housing	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	To pay 50% within 3 months of the commencement date. To pay remaining 50% within 5 months of the commencement date
Capan Er	136 Chichester Road N9 9DG P13-02146PLA	Demolition of garages and erection of 2 No. 3-bed terraced single family dwellings with front dormers at first floor.	24.02.14	TBC	68,907.00	3,281.00	No Deadline	Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	On commencement of development
Real Securities Limited	40 Beech Hill, Barnet, Enfield EN4 0LP P13-02548PLA	Development of 1 x 5 bedroom house	04.03.14	Cockfosters	196,485.43	175,720.00		Affordable Housing	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	Due on or prior to commencement date - CL commencement notice is dated 1.10.14
Real Securities Limited	40 Beech Hill, Barnet, Enfield EN4 0LP P13-02548PLA	Development of 1 x 5 bedroom house	04.03.14	Cockfosters	196,485.43	11,408.98		Education Contribution	TBC	TBC	R&E	Due on or prior to commencement date - see above. Payment to be pursued (8.4.15)
Real Securities Limited	40 Beech Hill, Barnet, Enfield EN4 0LP P13-02548PLA	Development of 1 x 5 bedroom house	04.03.14	Cockfosters	196,485.43	9,356.45		S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Due on or prior to commencement date - see above. Payment to be pursued (8.4.15)
Wayne Selt and Lauren Selt	35 Carnlet Way, Hadley Wood, EN4 0UJ 14/026227PLA	Redevelopment of the site to provide 8 residential apartments	09.04.15; DDV 16.05.2017	Hadley Wood	301,299.49	286,761.42	No Deadline	Affordable Housing	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	Due prior to commencement date.
Wayne Selt and Lauren Selt	35 Carnlet Way, Hadley Wood, EN4 0UJ 14/026227PLA	Redevelopment of the site to provide 8 residential apartments	09.04.15; DDV 16.05.2017	Hadley Wood	301,299.49	14,338.07	No Deadline	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Due upon completion of the deed (09.04.15). Invoice sent same day.
Everlast Ltd and Bank of Cyprus UK Ltd	Everlast House 1 Cranbrook Lane London N11 1PF; P13-01229PLA	Conversion of 2 storey office building, and erection of 3rd storey to provide 11 self contained flats (1x1 bed, 6x2 bed and 2x3 bed)	02.04.15	TBC	105,974.22	5,379.72	No Deadline	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Prior to commencement of development
Everlast Ltd and Bank of Cyprus UK Ltd	Everlast House 1 Cranbrook Lane London N11 1PF; P13-01229PLA	Conversion of 2 storey office building, and erection of 3rd storey to provide 11 self contained flats (1x1 bed, 6x2 bed and 2x3 bed)	02.04.15	TBC	105,974.22	26,763.77	No Deadline	Education Contribution	K. Rowley	S&CS	EDU	Due on completion of sale - or letting - of the 3rd dwelling
Everlast Ltd and Bank of Cyprus UK Ltd	Everlast House 1 Cranbrook Lane London N11 1PF; P13-01229PLA	Conversion of 2 storey office building, and erection of 3rd storey to provide 11 self contained flats (1x1 bed, 6x2 bed and 2x3 bed)	02.04.15	TBC	105,974.22	73,870.73	No Deadline	Affordable Housing Contribution towards the off site provision of affordable housing in the borough	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	Due on completion of sale - or letting - of the fourth dwelling
S2 Estates (Holloway) Ltd & Commercial Acceptances Ltd	land at 190-192 Hertford Road Infield N9 7HH 14/04167PLA	Conversion of existing public house into retail (A1) on ground floor, construction of staircase to basement stores, 1 x 1 bed and 1 x 2 bed flats at 1st, 2nd floors with balconies to south and east elevations, including part single, part 2 storey rear and side extensions together with associated parking and landscaping	23.04.15	Edmonton	63,000.00	60,000.00	No Deadline	Affordable Housing	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	Prior to occupation of first dwelling

S2 Estates (Holloway) Ltd & Commercial Acceptances Ltd	land at 190-192 Hertford Road Enfield N9 7NH, 1A/04167/FLU	Conversion of existing public house into retail (A1) on ground floor, construction of staircase to basement storage, 1 x 1-bed and 6 x 2-bed flats at 1st, 2nd floor with balconies to south and east elevations, including part single, part 2 storey rear and side extensions together with associated parking and landscaping	23.04.15	Edmonton	63,000.00	3,000.00	No Deadline	\$106 Management Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN		
Samantha Walsh, Ozian Hassan and Index Capital Ltd	68 Westmoor Road Enfield EN3 7JF, P14-01201PLA	Erection of detached 1 bed bungalow with off street parking at front	30.07.2015	TBC	11,273.49	10,669.50		Affordable Housing	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes		
Samantha Walsh, Ozian Hassan and Index Capital Ltd	68 Westmoor Road Enfield EN3 7JF, P14-01201PLA	Erection of detached 1 bed bungalow with off street parking at front	30.07.2015	TBC	11,273.49	603.99		Education Contribution	Keith Rowley	SC&S	EDU		
A.C. Nicholas Ltd	10 Ridgemount Gardens, EN2 8QL, P13-01833PLA	Redevelopment of site to provide 7 residential units comprising a part 3-storey, part 2-storey block of 5 self contained flats	31.07.2015	TBC	224,636.60	188,198.76	No Deadline	Affordable Housing Contribution towards the off site provision of affordable housing in the borough	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	50% due on or prior to commencement; 50% due on completion of the 4th residential unit	
A.C. Nicholas Ltd	10 Ridgemount Gardens, EN2 8QL, P13-01833PLA	Redevelopment of site to provide 7 residential units comprising a part 3-storey, part 2-storey block of 5 self contained flats	31.07.2015	TBC	224,636.60	25,740.86	No Deadline	Education Contribution towards the provision of educational facilities within the Borough required as a consequence of the scheme	Keith Rowley	SC&S	EDU	Due in full on or prior to commencement	
A.C. Nicholas Ltd	10 Ridgemount Gardens, EN2 8QL, P13-01833PLA	Redevelopment of site to provide 7 residential units comprising a part 3-storey, part 2-storey block of 5 self contained flats	31.07.2015	TBC	224,636.60	10,696.98	No Deadline	\$106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Due in full on or prior to commencement	
G.A Shepherd Investments	81 St Marks Road, Bush Hill Park Enfield EN1 1BU	Conversion of ground floor retail to a 1 bed self contained flat involving new windows to front and entrance door to the side elevation.	16.04.14	Bush Hill Park	11,000.00	10,475.00	No Deadline	Affordable Housing Contribution towards the off site provision of affordable housing in the borough	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	On commencement of development	
G.A Shepherd Investments	81 St Marks Road, Bush Hill Park Enfield EN1 1BU	Conversion of ground floor retail to a 1 bed self contained flat involving new windows to front and entrance door to the side elevation.	16.04.14	Bush Hill Park	11,000.00	525.00	No Deadline	\$106 Management Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Upon completion, TBC if paid	
Nicon Developments Limited	1-24 River Bank London N21 2AA	Formation of third floor involving extension to roof and dormer windows to all elevations to provide 2 x 2 bed self contained flats, 3 storey rear extension to provide lift shaft and installation of french doors and Juliet balconies to rear of all four blocks to provide a total of 6 additional residential units.	13.05.14	Bush Hill Park	221,096.23	175,720.00		Affordable Housing Contribution towards the off site provision of affordable housing in the borough	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	Prior to commencement of development	
Nicon Developments Limited	1-24 River Bank London N21 2AA	Formation of third floor involving extension to roof and dormer windows to all elevations to provide 2 x 2 bed self contained flats, 3 storey rear extension to provide lift shaft and installation of french doors and Juliet balconies to rear of all four blocks to provide a total of 8 additional residential units.	13.05.14	Bush Hill Park	221,096.23	14,847.84		Education Contribution towards the provision of educational facilities within the Borough required as a consequence of the scheme	Keith Rowley	SC&S	EDU	Prior to commencement of development	
Nicon Developments Limited	1-24 River Bank London N21 2AA	Formation of third floor involving extension to roof and dormer windows to all elevations to provide 2 x 2 bed self contained flats, 3 storey rear extension to provide lift shaft and installation of french doors and Juliet balconies to rear of all four blocks to provide a total of 8 additional residential units.	13.05.14	Bush Hill Park	221,096.23	20,000.00		Highways and Transport Contribution towards the cost of providing junction protection, extending footway from Green Lane to River Bank, maintaining and improving Greenways (see S106 for further detail)	David Taylor	R&E	T&T	Prior to commencement of development	
Nicon Developments Limited	1-24 River Bank London N21 2AA	Formation of third floor involving extension to roof and dormer windows to all elevations to provide 2 x 2 bed self contained flats, 3 storey rear extension to provide lift shaft and installation of french doors and Juliet balconies to rear of all four blocks to provide a total of 8 additional residential units.	13.05.14	Bush Hill Park	221,096.23	10,528.39		\$106 Management Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Prior to commencement of development	
Sanjiv Shantil Shah	16 Chase Hill Enfield EN2 8DQ TP/1/1739	Subdivision of site and erection of a part 2 storey, 3 bed semi detached single family dwelling.	12.10.12	Highlands	Enfield North	35,671.36	25,040.00	Within 5 years from the date of receipt of payment	Affordable Housing Contribution towards the off site provision of affordable housing in the borough	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	Payments are due upon commencement of development. No planning details have been submitted and Building Control database checked, information suggests that works have not commenced. Applicant has been contacted for an update
Sanjiv Shantil Shah	16 Chase Hill Enfield EN2 8DQ TP/1/1739	Subdivision of site and erection of a part 2 storey, 3 bed semi detached single family dwelling.	12.10.12	Highlands	Enfield North	35,671.36	2,126.00	Within 5 years from the date of receipt of payment	Mayor CL	TFI	TFI	Payments are due upon commencement of development. No planning details have been submitted and Building Control database checked, information suggests that works have not commenced. Applicant has been contacted for an update	
Sanjiv Shantil Shah	16 Chase Hill Enfield EN2 8DQ TP/1/1739	Subdivision of site and erection of a part 2 storey, 3 bed semi detached single family dwelling.	12.10.12	Highlands	Enfield North	35,671.36	6,907.96	Within 5 years from the date of receipt of payment	Education Contribution towards the provision of educational facilities within the Borough required as a consequence of the scheme	Keith Rowley	SC&S	EDU	Payments are due upon commencement of development. No planning details have been submitted and Building Control database checked, information suggests that works have not commenced. Applicant has been contacted for an update
Sanjiv Shantil Shah	16 Chase Hill Enfield EN2 8DQ TP/1/1739	Subdivision of site and erection of a part 2 storey, 3 bed semi detached single family dwelling.	12.10.12	Highlands	Enfield North	35,671.36	1,597.40	Within 5 years from the date of receipt of payment	\$106 Monitoring	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	PAID
Cuckoo Hall Academics Trust	Enfield College Site, The Ride, Enfield EN3 7DY P12-01762PLA	Redevelopment of land at rear of Enfield College involving demolition of The Ride College building and relocation of metal storage container to provide a detached 2 storey building for a 2 form entry Primary Academy (420 pupils) and Nursery school (30 pupils) with ground floor canopy and first floor balconies to east elevation, first floor terrace and ground floor canopy to west elevation, canopy to main entrance south of site, soft and hard play areas to north of site, formation of an access road, 17 car parking spaces, drop off / pick up lane, associated landscaping works and alterations to existing vehicular access to The Ride.	06.12.12	Enfield Highway	Enfield North	57,400.00	50,000.00	Within 5 years of the date of payment	Travel Plan Monitoring fee for monitoring travel plan	Anna Jakacka	R&E	T&T	Prior to occupation. Invoice has been issued, payment is being pursued.
Cuckoo Hall Academics Trust	Enfield College Site, The Ride, Enfield EN3 7DY P12-01762PLA	Redevelopment of land at rear of Enfield College involving demolition of The Ride College building and relocation of metal storage container to provide a detached 2 storey building for a 2 form entry Primary Academy (420 pupils) and Nursery school (30 pupils) with ground floor canopy and first floor balconies to east elevation, first floor terrace and ground floor canopy to west elevation, canopy to main entrance south of site, soft and hard play areas to north of site, formation of an access road, 17 car parking spaces, drop off / pick up lane, associated landscaping works and alterations to existing vehicular access to The Ride.	06.12.12	Enfield Highway	Enfield North	57,400.00	3,500.00	Within 5 years of the date of payment	Details of Employment and Training Package	Anna Loughlin	R&E	T&T	Prior to occupation
Cuckoo Hall Academics Trust	Enfield College Site, The Ride, Enfield EN3 7DY P12-01762PLA	Redevelopment of land at rear of Enfield College involving demolition of The Ride College building and relocation of metal storage container to provide a detached 2 storey building for a 2 form entry Primary Academy (420 pupils) and Nursery school (30 pupils) with ground floor canopy and first floor balconies to east elevation, first floor terrace and ground floor canopy to west elevation, canopy to main entrance south of site, soft and hard play areas to north of site, formation of an access road, 17 car parking spaces, drop off / pick up lane, associated landscaping works and alterations to existing vehicular access to The Ride.	06.12.12	Enfield Highway	Enfield North	57,400.00	Non monetary		Details of Landscaping Scheme	Matt Watts	R&E	PARKS	Within one month of commencement of development
Cuckoo Hall Academics Trust	Enfield College Site, The Ride, Enfield EN3 7DY P12-01762PLA	Redevelopment of land at rear of Enfield College involving demolition of The Ride College building and relocation of metal storage container to provide a detached 2 storey building for a 2 form entry Primary Academy (420 pupils) and Nursery school (30 pupils) with ground floor canopy and first floor balconies to east elevation, first floor terrace and ground floor canopy to west elevation, canopy to main entrance south of site, soft and hard play areas to north of site, formation of an access road, 17 car parking spaces, drop off / pick up lane, associated landscaping works and alterations to existing vehicular access to The Ride.	06.12.12	Enfield Highway	Enfield North	57,400.00	Non monetary		Details of Access Arrangements	David Taylor	R&E	T&T	Prior to occupation
Cuckoo Hall Academics Trust	Enfield College Site, The Ride, Enfield EN3 7DY P12-01762PLA	Redevelopment of land at rear of Enfield College involving demolition of The Ride College building and relocation of metal storage container to provide a detached 2 storey building for a 2 form entry Primary Academy (420 pupils) and Nursery school (30 pupils) with ground floor canopy and first floor balconies to east elevation, first floor terrace and ground floor canopy to west elevation, canopy to main entrance south of site, soft and hard play areas to north of site, formation of an access road, 17 car parking spaces, drop off / pick up lane, associated landscaping works and alterations to existing vehicular access to The Ride.	06.12.12	Enfield Highway	Enfield North	57,400.00	Non monetary		Interim Travel Plan.	David Taylor	R&E	T&T	Prior to occupation
Cuckoo Hall Academics Trust	Enfield College Site, The Ride, Enfield EN3 7DY P12-01762PLA	Redevelopment of land at rear of Enfield College involving demolition of The Ride College building and relocation of metal storage container to provide a detached 2 storey building for a 2 form entry Primary Academy (420 pupils) and Nursery school (30 pupils) with ground floor canopy and first floor balconies to east elevation, first floor terrace and ground floor canopy to west elevation, canopy to main entrance south of site, soft and hard play areas to north of site, formation of an access road, 17 car parking spaces, drop off / pick up lane, associated landscaping works and alterations to existing vehicular access to The Ride.	06.12.12	Enfield Highway	Enfield North	57,400.00	Non monetary		Update Interim Travel Plan to the Travel Plan (including surveys compatible with TfRAC and show baseline figures for travel behaviour refer to clause 3.4 for further detail)	David Taylor	R&E	T&T	No later than 2 months prior to the intended first date of occupation for the Interim Travel Plan. Main Travel Plan expected within 3 months of first occupation.
Cuckoo Hall Academics Trust	Enfield College Site, The Ride, Enfield EN3 7DY P12-01762PLA	Redevelopment of land at rear of Enfield College involving demolition of The Ride College building and relocation of metal storage container to provide a detached 2 storey building for a 2 form entry Primary Academy (420 pupils) and Nursery school (30 pupils) with ground floor canopy and first floor balconies to east elevation, first floor terrace and ground floor canopy to west elevation, canopy to main entrance south of site, soft and hard play areas to north of site, formation of an access road, 17 car parking spaces, drop off / pick up lane, associated landscaping works and alterations to existing vehicular access to The Ride.	06.12.12	Enfield Highway	Enfield North	57,400.00	3,900.00	No Deadline	\$106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	PAID
Scottish Widows Unit Funds Limited	232 Great Cambridge Road Enfield EN1 1TY P12-01895PLA	Demolition of existing unit and erection of two retail units with associated car parking and servicing area.	07.01.13	Southbury	Enfield North	30,948.75	29,475.00	No Deadline	Carbon Fund Contribution to be paid to the Council as contribution to the provision of a carbon fund in the Borough	Rob Singleton	R&E	Development Management	All payments are due on commencement of development. Carbon Contribution should be index linked.
Scottish Widows Unit Funds Limited	232 Great Cambridge Road Enfield EN1 1TY P12-01895PLA	Demolition of existing unit and erection of two retail units with associated car parking and servicing area.	07.01.13	Southbury	Enfield North	30,948.75	1,473.75	No Deadline	\$106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	NOTE THERE ARE TWO S106's - signed 07.01.13 and 20.03.13. All money has been received for the 20.03.13 agreement
Kypros Nicholas & Jetspan Limited	108 12 Old Park Road and Garages Adjacent to 41 51 Calshot Way EN2 7BH TP/1/0338	Redevelopment of site to provide 14 residential units in 2 x 2-storey blocks (Block A 3 x 3 bed and 4 x 2 bed and Block B 5 x 2 bed and 2 x 3 bed self contained flats) with basement parking, access from Old Park Road and Calshot Way, terraces to first and second floor at front side and rear and accommodation in roof spaces with dormer windows to front and rear.	29.02.12	Grange	Enfield North	236,912.00	200,000.00	Within 8 years from the date of receipt	Affordable Housing Contribution towards the off site provision of affordable housing in the borough	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	Prior to commencement of development to pay to the Council 35% of the AH contribution. The remaining 65% to be paid within 28 days of the 7th month housing unit being sold.
Kypros Nicholas & Jetspan Limited	108 12 Old Park Road and Garages Adjacent to 41 51 Calshot Way EN2 7BH TP/1/0338	Redevelopment of site to provide 14 residential units in 2 x 2-storey blocks (Block A 3 x 3 bed and 4 x 2 bed and Block B 5 x 2 bed and 2 x 3 bed self contained flats) with basement parking, access from Old Park Road and Calshot Way, terraces to first and second floor at front side and rear and accommodation in roof spaces with dormer windows to front and rear.	29.02.12	Grange	Enfield North	236,912.00	34,412.00	Within 8 years from the date of receipt	Education Contribution towards the provision of educational facilities within the Borough required as a consequence of the scheme	Keith Rowley	SC&S	EDU	Payment due prior to commencement of development. Unlikely to be implemented as new application granted permission and S106 signed.
Kypros Nicholas & Jetspan Limited	108 12 Old Park Road and Garages Adjacent to 41 51 Calshot Way EN2 7BH TP/1/0338	Redevelopment of site to provide 14 residential units in 2 x 2-storey blocks (Block A 3 x 3 bed and 4 x 2 bed and Block B 5 x 2 bed and 2 x 3 bed self contained flats) with basement parking, access from Old Park Road and Calshot Way, terraces to first and second floor at front side and rear and accommodation in roof spaces with dormer windows to front and rear.	29.02.12	Grange	Enfield North	236,912.00		Within 8 years from the date of receipt	Overage (threshold in S106)	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	
Kypros Nicholas & Jetspan Limited	108 12 Old Park Road and Garages Adjacent to 41 51 Calshot Way EN2 7BH TP/1/0338	Redevelopment of site to provide 14 residential units in 2 x 2-storey blocks (Block A 3 x 3 bed and 4 x 2 bed and Block B 5 x 2 bed and 2 x 3 bed self contained flats) with basement parking, access from Old Park Road and Calshot Way, terraces to first and second floor at front side and rear and accommodation in roof spaces with dormer windows to front and rear.	29.02.12	Grange	Enfield North	236,912.00	2,500.00	Within 8 years from the date of receipt	Waiting Restrictions in accordance with Schedule 2 to be used for the design and implementation of any such waiting restrictions in Calshot Way or in the vicinity of the vehicular access to the Land as shown in the Application	David Taylor	R&E	T&T	Payments due prior to commencement of development
Barristays Bank & Bank of Scotland PLC	1 Crescent Road and 33 Waverley Road, Enfield EN2 7BH TP/1/0473	Redevelopment of site to provide a 3-storey block of 9 self contained flats (comprising 7 x 2 bed and 2 x 4 bed) involving accommodation in roof with dormer windows to front and side and a roof terrace, balconies to all sides and basement parking with access to Crescent Road.	17.01.2012	Grange	Enfield North	13,115.00	13,115.00	15 years from the date of receipt	Education Contribution towards the provision of educational facilities within the Borough required as a consequence of the scheme	Keith Rowley	SC&S	EDU	Payment is due on commencement of development. No details have been submitted, emailed agent to confirm status.
Roger Ian Dudding	Dudrich Mews, Drapers Road EN2 BLU P13-03023PLA	Conversion of roof space into 1 x 2 bed self contained flat.	28.02.2014	TBC		27,318.35	24,161.50		Affordable Housing Contribution	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	INVOICE SENT 03.09.2015
Roger Ian Dudding	Dudrich Mews, Drapers Road EN2 BLU P13-03023PLA	Conversion of roof space into 1 x 2 bed self contained flat.	28.02.2014	TBC		27,318.35	1,300.87		\$106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	INVOICE SENT 03.09.2015
Roger Ian Dudding	Dudrich Mews, Drapers Road EN2 BLU P13-03023PLA	Conversion of roof space into 1 x 2 bed self contained flat.	28.02.2014	TBC		27,318.35	1,855.98		Education Contribution towards the provision of educational facilities within the Borough required as a consequence of the scheme	Head of Service	SC&S	EDU	INVOICE SENT 03.09.2015
London Community Learning Trust	Ladywinth Road, Edmonton, Enfield London N18 2QR, 1A/04205/FLU	Erection of a part single, part 2-storey 420 pupils primary school for pupils aged 4-11 years, provision of multi-use games area (MUGA), soft and hard surfaced play areas, associated landscaping, perimeter fencing and car and cycle parking accessed from Albany Road	19.10.2015	Edmonton		74,137.39	52,962.39		Play equipment contribution towards the re-provision of play equipment in the related publicly accessible open space	Matt Watts	R&E	PARKS	Due prior to commencement date

London Community Learning Trust	LadySmith Road, Edmonton, Enfield London N18 2DR, 14/04/2016/FLU	Erection of a part single, part 2-storey 420 place primary school for pupils aged 4-11 years, provision of multi-use games area (MUGA), soft and hard surfaced play areas, associated landscaping, perimeter fencing and car and cycle parking accessed from Albany Road	19.10.2015	Edmonton	74,137.39	1,175.00		S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	PAID 15.10.2015	
London Community Learning Trust	LadySmith Road, Edmonton, Enfield London N18 2DR, 14/04/2016/FLU	Erection of a part single, part 2-storey 420 place primary school for pupils aged 4-11 years, provision of multi-use games area (MUGA), soft and hard surfaced play areas, associated landscaping, perimeter fencing and car and cycle parking accessed from Albany Road	19.10.2015	Edmonton	74,137.39	20,000.00		Highways Contribution	David Taylor	R&E	T&T	Due prior to commencement date	
HP Investments Ltd	100 High Street N14 6BN 15/04/27/FLU	Demolition of existing decked car park & erection of 90 room Hotel.	05.08.2016	Southgate	46,615.00	10,000.00		CPZ Consultation Contribution	David Taylor	R&E	T&T	All due on or before the commencement date (E44,740)	
HP Investments Ltd	100 High Street N14 6BN 15/04/27/FLU	Demolition of existing decked car park & erection of 90 room Hotel.	05.08.2016	Southgate	46,615.00	15,000.00		CPZ Implementation Contribution	David Taylor	R&E	T&T	All due on or before the commencement date (E44,740)	
HP Investments Ltd	100 High Street N14 6BN 15/04/27/FLU	Demolition of existing decked car park & erection of 90 room Hotel.	05.08.2016	Southgate	46,615.00	2,500.00		Parking Control Contribution	David Taylor	R&E	T&T	All due on or before the commencement date (E44,740)	
HP Investments Ltd	100 High Street N14 6BN 15/04/27/FLU	Demolition of existing decked car park & erection of 90 room Hotel.	05.08.2016	Southgate	46,615.00	10,000.00		Travel Survey Contribution	David Taylor	R&E	T&T	All due on or before the commencement date (E44,740)	
HP Investments Ltd	100 High Street N14 6BN 15/04/27/FLU	Demolition of existing decked car park & erection of 90 room Hotel.	05.08.2016	Southgate	46,615.00	7,240.00		Travel plan monitoring fee	Anna Jalaska	R&E	T&T	All due on or before the commencement date (E44,740)	
HP Investments Ltd	100 High Street N14 6BN 15/04/27/FLU	Demolition of existing decked car park & erection of 90 room Hotel.	05.08.2016	Southgate	46,615.00	1,875.00		S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Due on date of signing the deed (05/08/2016)	
HP Investments Ltd	365 Herford Road, London, N9 7BN 15/05/29/FLU	Conversion of existing medical practice (Use Class D1) to office (Use Class A2) at ground floor level and 1 x studio flat (Use Class C3) at first floor, involving a single storey front extension to incorporate a new shop front, new entrance to flank elevation and associated cycle parking	09.08.2016	TBC	4,000.00	3,205.53		Affordable Housing	Sarah Carter	HHASC	Development and Estate Renewal		
HP Investments Ltd	365 Herford Road, London, N9 7BN 15/05/29/FLU	Conversion of existing medical practice (Use Class D1) to office (Use Class A2) at ground floor level and 1 x studio flat (Use Class C3) at first floor, involving a single storey front extension to incorporate a new shop front, new entrance to flank elevation and associated cycle parking	09.08.2016	TBC	4,000.00	603.99		Infrastructure Contribution	TBC	R&E	TBC		
HP Investments Ltd	365 Herford Road, London, N9 7BN 15/05/29/FLU	Conversion of existing medical practice (Use Class D1) to office (Use Class A2) at ground floor level and 1 x studio flat (Use Class C3) at first floor, involving a single storey front extension to incorporate a new shop front, new entrance to flank elevation and associated cycle parking	09.08.2016	TBC	4,000.00	190.48		S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN		
381 Cockfosters Road LLP	381 Cockfosters Road Enfield EM4 0ES P14-02/20/FLU	Redevelopment of site and erection of a new block of 9 flats (comprising of 1 x 3 bed, 6 x 2 bed and 2 x 1 bed).	16.08.2016	Cockfosters	336,233.37	336,233.37		Affordable Housing	Sarah Carter	HHASC	Development and Estate Renewal	Payable in 2 instalments of E168,116.63 and E168,116.64	
Shanly Homes Ltd and Niccon Developments	1 Coombehurst Close EN4 0DU 16/02/11/FLU	Demolition of the existing dwelling and erection of 8 apartments with associated access, basement parking, manoeuvring, landscaping and ancillary facilities.	17.08.2016	Cockfosters	339,640.46	289,056.41		Affordable Housing	Sarah Carter	HHASC	Development and Estate Renewal	50% (£164,528.21) due on or prior to commencement. Remaining 50% (£144,528.20) due on or prior to occupation of development	
Shanly Homes Ltd and Niccon Developments	1 Coombehurst Close EN4 0DU 16/02/11/FLU	Demolition of the existing dwelling and erection of 8 apartments with associated access, basement parking, manoeuvring, landscaping and ancillary facilities.	17.08.2016	Cockfosters	339,640.46	35,055.76		Infrastructure Contribution	TBC	R&E	TBC	Due in full on or prior to occupation.	
Shanly Homes Ltd and Niccon Developments	1 Coombehurst Close EN4 0DU 16/02/11/FLU	Demolition of the existing dwelling and erection of 8 apartments with associated access, basement parking, manoeuvring, landscaping and ancillary facilities.	17.08.2016	Cockfosters	339,640.46	15,528.29		S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Monitoring fee payable on or prior to commencement	
Southgate London Properties Ltd, Hampshire Trust Bank PLC	309 Chase Road Southgate N14 6US 16/01/13/FLU	Construction of 2 x additional floors to building to provide 5 x 2 bedroom residential units; additional cycle parking and refuse storage.	15.09.2016	Southgate	350.00	350.00	No Deadline	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	due on date of signing the undertaking	
Southgate London Properties Ltd, Hampshire Trust Bank PLC	309 Chase Road Southgate N14 6US 16/01/13/FLU	Construction of 2 x additional floors to building to provide 5 x 2 bedroom residential units; additional cycle parking and refuse storage.	15.09.2016	Southgate	350.00	Non monetary	No Deadline	Parking Permit restriction	David Taylor	R&E	T&T	non-monetary contribution	
Magi Living Ltd	2a/2b Park Avenue London N21 2UH 15/04/76/FLU	Demolition of existing warehouse and erection of a part 3, part 4 storey block to provide 14 flats (comprising 4x3bed, 7x2 bed, 3x1 bed flats), with associated cycle/refuse storage and landscaping.	19.09.2016	Edmonton Green	33,611.20	9,333.24		Cycle Infrastructure Improvement	David Taylor	R&E	T&T	ALL CONTRIBUTIONS DUE ON OR BEFORE COMMENCEMENT DATE. For cycle infrastructure improvements on Park Road between the railway bridge and Fore Street; and on Fore Street between Brettenham Rd and Park Avenue	
Magi Living Ltd	2a/2b Park Avenue London N21 2UH 15/04/76/FLU	Demolition of existing warehouse and erection of a part 3, part 4 storey block to provide 14 flats (comprising 4x3bed, 7x2 bed, 3x1 bed flats), with associated cycle/refuse storage and landscaping.	19.09.2016	Edmonton Green	33,611.20	387,176.00		Highway Works	Mick Pond	R&E	T&T	ALL CONTRIBUTIONS DUE ON OR BEFORE COMMENCEMENT DATE. For the removal of the redundant vehicle crossover, provision of a new vehicle crossover and the associated footway reinstatement and repairs to the existing footway	
Magi Living Ltd	2a/2b Park Avenue London N21 2UH 15/04/76/FLU	Demolition of existing warehouse and erection of a part 3, part 4 storey block to provide 14 flats (comprising 4x3bed, 7x2 bed, 3x1 bed flats), with associated cycle/refuse storage and landscaping.	19.09.2016	Edmonton Green	33,611.20	15,000.00		Pedestrian Environment Improvements	David Taylor	R&E	T&T	ALL CONTRIBUTIONS DUE ON OR BEFORE COMMENCEMENT DATE. For improvements to the pedestrian environments in the access to Silver Street station, Park Road leading to Fore St and the junction of Park Avenue with Park Road	
Magi Living Ltd	2a/2b Park Avenue London N21 2UH 15/04/76/FLU	Demolition of existing warehouse and erection of a part 3, part 4 storey block to provide 14 flats (comprising 4x3bed, 7x2 bed, 3x1 bed flats), with associated cycle/refuse storage and landscaping.	19.09.2016	Edmonton Green	33,611.20	3,620.00		Travel Plan Implementation Monitoring Fee	David Taylor	R&E	T&T	ALL CONTRIBUTIONS DUE ON OR BEFORE COMMENCEMENT DATE.	
Magi Living Ltd	2a/2b Park Avenue London N21 2UH 15/04/76/FLU	Demolition of existing warehouse and erection of a part 3, part 4 storey block to provide 14 flats (comprising 4x3bed, 7x2 bed, 3x1 bed flats), with associated cycle/refuse storage and landscaping.	19.09.2016	Edmonton Green	33,611.20	1,786.20		S106 Monitoring Fee	Head of Service	R&E	T&T	PAID 19/09/16	
Magi Living Ltd	2a/2b Park Avenue London N21 2UH 15/04/76/FLU	Demolition of existing warehouse and erection of a part 3, part 4 storey block to provide 14 flats (comprising 4x3bed, 7x2 bed, 3x1 bed flats), with associated cycle/refuse storage and landscaping.	19.09.2016	Edmonton Green	33,611.20	TBC		Car Club Payment	David Taylor	R&E	T&T	E278.50 for each dwelling which does not join the Car Club - payment level will be circulated a later date.	
Hilnet Properties Ltd, James Thomas Rodd and Jacqueline Rodd	Kingwood Nurseries, Bullfinch Lane, EN1 4SF 15/02/74/FLU	Development of 56 residential units in 2 blocks; 5x4 bed 7x2 bed and 2x3 bed homes plus 21 x 1 bed, 10 x 2 bed and 11 x 3 bed flats	23.01.2017	TBC	207,318.76	12 Units		Affordable Housing	Rupert Brandon	HHASC	Development and Estate Renewal		
Hilnet Properties Ltd, James Thomas Rodd and Jacqueline Rodd	Kingwood Nurseries, Bullfinch Lane, EN1 4SF 15/02/74/FLU	Development of 56 residential units in 2 blocks; 5x4 bed 7x2 bed and 2x3 bed homes plus 21 x 1 bed, 10 x 2 bed and 11 x 3 bed flats	23.01.2017	TBC	207,318.76	3,471.54		Childcare Contribution	Keith Rowley	SCS	EDU	Payable on or prior to the disposal of the 15th market housing unit.	
Hilnet Properties Ltd, James Thomas Rodd and Jacqueline Rodd	Kingwood Nurseries, Bullfinch Lane, EN1 4SF 15/02/74/FLU	Development of 56 residential units in 2 blocks; 5x4 bed 7x2 bed and 2x3 bed homes plus 21 x 1 bed, 10 x 2 bed and 11 x 3 bed flats	23.01.2017	TBC	207,318.76	150,000.00		Highways Contribution	David Taylor	R&E	T&T	To be paid in full on or prior to commencement of development	
Hilnet Properties Ltd, James Thomas Rodd and Jacqueline Rodd	Kingwood Nurseries, Bullfinch Lane, EN1 4SF 15/02/74/FLU	Development of 56 residential units in 2 blocks; 5x4 bed 7x2 bed and 2x3 bed homes plus 21 x 1 bed, 10 x 2 bed and 11 x 3 bed flats	23.01.2017	TBC	207,318.76	TBC		Business and Employment Initiative contribution	Anna Loughlin	R&E	BED		
Hilnet Properties Ltd, James Thomas Rodd and Jacqueline Rodd	Kingwood Nurseries, Bullfinch Lane, EN1 4SF 15/02/74/FLU	Development of 56 residential units in 2 blocks; 5x4 bed 7x2 bed and 2x3 bed homes plus 21 x 1 bed, 10 x 2 bed and 11 x 3 bed flats	23.01.2017	TBC	207,318.76	9,873.33		S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING & DESIGN		
Hilnet Properties Ltd, James Thomas Rodd and Jacqueline Rodd	Kingwood Nurseries, Bullfinch Lane, EN1 4SF 15/02/74/FLU	Development of 56 residential units in 2 blocks; 5x4 bed 7x2 bed and 2x3 bed homes plus 21 x 1 bed, 10 x 2 bed and 11 x 3 bed flats	23.01.2017	TBC	207,318.76	43,974.90		Education contribution	Keith Rowley	SCS	EDU	50% (£31,987.45) to be paid on or prior to the disposal of the 15th market housing unit. Remainder to be paid on or prior to the sale/disposal of the 10th market housing unit.	
City and Suburban Homes Ltd and Peter Delmaestro	Relating to the development of land and buildings on the West side of Park Avenue London N12 2UH. 16/01/51/FLU	Demolition of existing buildings and erection of part four, part five storey residential building to provide 2x 4 flats (comprising 10 x 1 bed, 10 x 2 bed and 4 x 3 bed flats) with green roof, associated parking and landscaping.	22.12.2016	Edmonton	78,601.54	52,231.54	5 years, from date of receipt	Education Contribution	Keith Rowley	SCS	EDU	Due on commencement	
City and Suburban Homes Ltd and Peter Delmaestro	Relating to the development of land and buildings on the West side of Park Avenue London N12 2UH. 16/01/51/FLU	Demolition of existing buildings and erection of part four, part five storey residential building to provide 2x 4 flats (comprising 10 x 1 bed, 10 x 2 bed and 4 x 3 bed flats) with green roof, associated parking and landscaping.	22.12.2016	Edmonton	78,601.54	7 units		Affordable Housing	Rupert Brandon	HHASC	Development and Estate Renewal		
City and Suburban Homes Ltd and Peter Delmaestro	Relating to the development of land and buildings on the West side of Park Avenue London N12 2UH. 16/01/51/FLU	Demolition of existing buildings and erection of part four, part five storey residential building to provide 2x 4 flats (comprising 10 x 1 bed, 10 x 2 bed and 4 x 3 bed flats) with green roof, associated parking and landscaping.	22.12.2016	Edmonton	78,601.54	1,370.00		S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING & DESIGN	Due on date of signing deed	
City and Suburban Homes Ltd and Peter Delmaestro	Relating to the development of land and buildings on the West side of Park Avenue London N12 2UH. 16/01/51/FLU	Demolition of existing buildings and erection of part four, part five storey residential building to provide 2x 4 flats (comprising 10 x 1 bed, 10 x 2 bed and 4 x 3 bed flats) with green roof, associated parking and landscaping.	22.12.2016	Edmonton	78,601.54	25,000.00	5 years from date of receipt	Highway Contribution: £15,000 for a PRS audit & £10,000 for cycle route improvements	David Taylor	R&E	T&T	Due on commencement	
Lidl UK GmbH	654 Herford Road, Enfield EN1 6L2	Development of a new retail store	07.03.2017	TBC	7,796.25	7,425.00	10 years from date of receipt	Carbon Shortfall contribution	Jeff Laidlaw	R&E	SUSTAINABILITY	Due on commencement	
Lidl UK GmbH	654 Herford Road, Enfield EN1 6L2	Development of a new retail store	07.03.2017	TBC	7,796.25	371.25	10 years from date of receipt	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING & DESIGN	Payable on date of signing the deed	
Tenpin Limited	3 Deersley Road, Enfield EN1 3RH 06/15/8 SOUTHURY	Change of use from nightclub to ten pin bowling and family entertainment centre	22.01.08	Southbury	Enfield North	25,000.00	15,000.00	Within 5 years of the date of receipt of payment	Footway Contribution towards the Footway in Southbury Road, Crown Road and or Deersley Road or within the vicinity of the land	David Taylor	R&E	T&T	Payment due on or before implementation. Change of use application granted in 2010 for change of use from nightclub to non-food retail for which planning details are being submitted to Development Management.
Tenpin Limited	3 Deersley Road, Enfield EN1 3RH 06/15/8 SOUTHURY	Change of use from nightclub to ten pin bowling and family entertainment centre	22.01.08	Southbury	Enfield North	25,000.00	10,000.00	Within 5 years of the date of receipt of payment	Public Transport improvements to existing bus stops on the Tell road network in the vicinity of the land	David Taylor	R&E	T&T	Payment due on or before implementation. Change of use application granted in 2010 for change of use from nightclub to non-food retail for which planning details are being submitted to Development Management.
Berttram Olenka	79 Fensdale Road Enfield EN3 6DU T70/11/1561	Erection of a part 2-storey, 3 bed detached single family dwelling with rear dormer, off street parking at front and access to Fensdale Road.	05.07.12	Enfield Lock	Enfield North	8,320.00	7,020.00	NO DEADLINE	Affordable Housing Contribution towards the off site provision of affordable housing in the borough	Sarah Carter	HHASC	Development & Estates Renewal - Council Homes	Payment is due prior to commencement of development. No planning details have been submitted and Building Control database checked; information suggests that works have not commenced. Agent confirmed that the site has been sold on, waiting call back from new owner's solicitors.
Berttram Olenka	79 Fensdale Road Enfield EN3 6DU T70/11/1561	Erection of a part 2-storey, 3 bed detached single family dwelling with rear dormer, off street parking at front and access to Fensdale Road.	05.07.12	Enfield Lock	Enfield North	8,320.00	1,300.00	NO DEADLINE	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	PAID
LB&E Hettiarachage Disnayayake & Marc Disnayayake Limited	Former Meryhill Library/Clinic Enfield Road, Enfield EN1 7H/08/1951 HIGH/LANDS	Redevelopment of site by the erection of a detached 3-storey building to provide a new practice Doctors Surgery on ground floor and 34 x 2 bed flats on first and second floors with balconies to both sides at first and second floor level.	20.01.09	Highlands	Enfield North	25,000.00	25,000.00	Within 3 years from the date of receipt.	Highways Works fee towards cost of preparing the specification	R&E	T&T	No further planning details have been submitted since 2009. Developer confirmed that planning permission has not been implemented yet.	
Dora Savva and Iripu Katakav	783 Herford Road, EN3 6QU T79/11/1825	Redevelopment of site to provide 9 self contained flats and 1 commercial unit within 2 x 2-storey blocks with rooms in roof and dormer windows, 1 block fronting Herford Road comprising 23sqm of commercial floor space at ground floor and 3 x 2 bed self contained flats and 1 block to the rear comprising 2 x 3 bed, 2 x 2 bed and 2 x 1 bed self contained flats and off street parking to side / rear.	23.03.12	Enfield Lock	Enfield North	15,450.00	22,196.52	NO DEADLINE	Affordable Housing Contribution towards provision of affordable housing in the borough	Sarah Carter	HHASC	Development & Estates Renewal - Council Homes	All contributions are to be paid on the Commencement date. Although no planning details have been submitted, Building Control database shows an initial site notice application. Invoice has been issued, payment is being actively pursued.
Dora Savva and Iripu Katakav	783 Herford Road, EN3 6QU T79/11/1825	Redevelopment of site to provide 9 self contained flats and 1 commercial unit within 2 x 2-storey blocks with rooms in roof and dormer windows, 1 block fronting Herford Road comprising 23sqm of commercial floor space at ground floor and 3 x 2 bed self contained flats and 1 block to the rear comprising 2 x 3 bed, 2 x 2 bed and 2 x 1 bed self contained flats and off street parking to side / rear.	23.03.12	Enfield Lock	Enfield North	15,450.00	16,803.48	NO DEADLINE	Education Contribution towards the provision of educational facilities within the Borough required as a consequence of the scheme	Keith Rowley	S&CS	EDU	All contributions are to be paid on the Commencement date. Although no planning details have been submitted, Building Control database shows an initial site notice application. Invoice has been issued, payment is being actively pursued.
Dora Savva and Iripu Katakav	783 Herford Road, EN3 6QU T79/11/1825	Redevelopment of site to provide 9 self contained flats and 1 commercial unit within 2 x 2-storey blocks with rooms in roof and dormer windows, 1 block fronting Herford Road comprising 23sqm of commercial floor space at ground floor and 3 x 2 bed self contained flats and 1 block to the rear comprising 2 x 3 bed, 2 x 2 bed and 2 x 1 bed self contained flats and off street parking to side / rear.	23.03.12	Enfield Lock	Enfield North	15,450.00	10,000.00	NO DEADLINE	Green Way Contribution towards the provision of green way cycle paths within the Borough	Steve Jaggard	R&E	T&T	All contributions are to be paid on the Commencement date. Although no planning details have been submitted, Building Control database shows an initial site notice application. Invoice has been issued, payment is being actively pursued.
Dora Savva and Iripu Katakav	783 Herford Road, EN3 6QU T79/11/1825	Redevelopment of site to provide 9 self contained flats and 1 commercial unit within 2 x 2-storey blocks with rooms in roof and dormer windows, 1 block fronting Herford Road comprising 23sqm of commercial floor space at ground floor and 3 x 2 bed self contained flats and 1 block to the rear comprising 2 x 3 bed, 2 x 2 bed and 2 x 1 bed self contained flats and off street parking to side / rear.	23.03.12	Enfield Lock	Enfield North	15,450.00	2,450.00	NO DEADLINE	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	All contributions are to be paid on the Commencement date. Although no planning details have been submitted, Building Control database shows an initial site notice application. Invoice has been issued, payment is being actively pursued.

Magnaguard Ltd	Land at 28 and 28a Slades Hill Enfield EN2 7TE TP/10/0491	Redevelopment of site to provide a part 2-storey, part 4-storey block of 9 self contained flats (6 x 3 bed & 3 x 2 bed) with roof terrace, balconies to front and rear and accommodation and parking in basement with access to Slades Hill.	04.03.11	Highlands	Enfield North	13,115.00	13,115.00	NO DEADLINE	Education Contribution towards the provision of educational facilities within the Borough required as a consequence of the scheme	Keith Rowley	S&CS	EDU	Payment due on or before commencement of development. Developer has confirmed that works have commenced on site and an invoice has been issued. Payment is being pursued. UPDATE 09.04.15 - Funds need to be internally transferred from the 14.89 which Enfield owns Magnaguard Ltd (see Finance Monitor tab; scheme at 5 and 5A Old Park Road)
Leonard Cheah	Arnold House 66, The Ridgeway Enfield - TP 04/1378 HIGHLANDS	Redevelopment of site for residential purposes. (Outline application - means of access, siting and landscaping) Agreement signed 8.11.06	08.11.06	Highlands	Enfield North	35,000.00	35,000.00	Within 5 years of the date of receipt of payment	River Walkway & Cycle Path to construct and provide the use of the public highway in perpetuity. On completion of the above to provide public access to the River Walkway within one month of receiving notice from the Council.	David Taylor	S&CS	EDU	Payment due prior to commencement of development. No sign of development commencing applicant confirmed no works have started on site.
J Browne Properties UK, Santander & Vollenhewys Limited	Land at Edson Road Enfield EN3 7BY P12-0118P/EA	Change of use to a highways maintenance depot including the storage and recycling of utility excavation materials, the storage of primary aggregates, concreting batching, parking of vehicles and the erection of storage bays, weighbridge, site control office and welfare facilities.	24.06.13	Enfield Highway		Non monetary	NO DEADLINE		Programme of Maintenance	R&E	T&T		Within 9 months of commencement of development
J Browne Properties UK, Santander & Vollenhewys Limited	Land at Edson Road Enfield EN3 7BY P12-0118P/EA	Change of use to a highways maintenance depot including the storage and recycling of utility excavation materials, the storage of primary aggregates, concreting batching, parking of vehicles and the erection of storage bays, weighbridge, site control office and welfare facilities.	24.06.13	Enfield Highway		Non monetary	NO DEADLINE		Lansing Scheme At developers own cost	R&E	T&T		Prior to commencement of development for approval in writing
J Browne Properties UK, Santander & Vollenhewys Limited	Land at Edson Road Enfield EN3 7BY P12-0118P/EA	Change of use to a highways maintenance depot including the storage and recycling of utility excavation materials, the storage of primary aggregates, concreting batching, parking of vehicles and the erection of storage bays, weighbridge, site control office and welfare facilities.	24.06.13	Enfield Highway		Non monetary	NO DEADLINE				T&T		Within 9 months of commencement of development
Managing trustees of Enfield Evangelical Free Church	The Emmanuel Centre 145 Baker Street EN1 3JR	Demolition of existing building and erection of 6 self contained flats (6 x 1 bed) in a 3-storey block with associated car parking.	01.10.13	Town		100,667.63	92,250.00	Within five years from the date of payment	Affordable Housing Contribution towards provision of affordable housing in the borough	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	Prior to commencement of development
Managing trustees of Enfield Evangelical Free Church	The Emmanuel Centre 145 Baker Street EN1 3JR	Demolition of existing building and erection of 6 self contained flats (6 x 1 bed) in a 3-storey block with associated car parking.	01.10.13	Town		100,667.63	3,623.94	Within five years from the date of payment	Education Contribution towards provision of educational facilities within Enfield as a consequence of the development	Keith Rowley	S&CS	EDU	Prior to commencement of development
Managing trustees of Enfield Evangelical Free Church	The Emmanuel Centre 145 Baker Street EN1 3JR	Demolition of existing building and erection of 6 self contained flats (6 x 1 bed) in a 3-storey block with associated car parking.	01.10.13	Town		100,667.63	4,793.69	Within five years from the date of payment	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	On commencement of development
Holland Park Limited	91 The Fairway London N14 4PB	Erection of a 2 bed detached bungalow, vehicular access to Masfield Crescent and off street parking.	23.10.13	Cockfosters		24,814.49	21,810.58	NO DEADLINE	Affordable Housing Contribution towards provision of affordable housing in the borough	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	Due prior to commencement of development
Holland Park Limited	91 The Fairway London N14 4PB	Erection of a 2 bed detached bungalow, vehicular access to Masfield Crescent and off street parking.	23.10.13	Cockfosters		24,814.49	1,855.98	NO DEADLINE	Education Contribution towards provision of educational facilities within Enfield as a consequence of the development	Keith Rowley	S&CS	EDU	Due prior to commencement of development
Holland Park Limited	91 The Fairway London N14 4PB	Erection of a 2 bed detached bungalow, vehicular access to Masfield Crescent and off street parking.	23.10.13	Cockfosters		24,814.49	1,147.93	NO DEADLINE	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Due prior to commencement of development
Alan Hugh Nicholas	1 Hansart Way, Enfield EN3 8NB TP/11/1602	Construction of fourth floor to provide a total of 8 self contained flats (4 to each of the two blocks) comprising 2 x 3 bed and 2 x 2 bed, with balconies to front side and rear and an external supporting structure with solar panels and rainwater harvesting system.	25.10.13	Highlands		217,243.02	100,000.00	Within 10 years from the date of payment TBC	Initial Affordable Housing Contribution towards provision of affordable housing in the borough	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	Prior to commencement of development
Alan Hugh Nicholas	1 Hansart Way, Enfield EN3 8NB TP/11/1602	Construction of fourth floor to provide a total of 8 self contained flats (4 to each of the two blocks) comprising 2 x 3 bed and 2 x 2 bed, with balconies to front side and rear and an external supporting structure with solar panels and rainwater harvesting system.	25.10.13	Highlands		217,243.02	74,929.26	Within 10 years from the date of payment TBC	Final Affordable Housing Contribution towards provision of affordable housing in the borough	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	At each Review Date (date of completion of sale of 10% of the units & the date of completion of the sale of the second to last unit) if considered by the Council acting reasonably that the aggregate sales figure exceeds or will exceed the sum of £1,990,576 the Council can serve notice by the end of three months from the last review date, for the final AV contribution.
Alan Hugh Nicholas	1 Hansart Way, Enfield EN3 8NB TP/11/1602	Construction of fourth floor to provide a total of 8 self contained flats (4 to each of the two blocks) comprising 2 x 3 bed and 2 x 2 bed, with balconies to front side and rear and an external supporting structure with solar panels and rainwater harvesting system.	25.10.13	Highlands		217,243.02	35,055.76	Within 10 years from the date of payment TBC	Education Contribution towards provision of educational facilities within Enfield as a consequence of the development	Keith Rowley	S&CS	EDU	Prior to completion of the first housing unit
Alan Hugh Nicholas	1 Hansart Way, Enfield EN3 8NB TP/11/1602	Construction of fourth floor to provide a total of 8 self contained flats (4 to each of the two blocks) comprising 2 x 3 bed and 2 x 2 bed, with balconies to front side and rear and an external supporting structure with solar panels and rainwater harvesting system.	25.10.13	Highlands		217,243.02		Within 10 years from the date of payment TBC	Existing Car Park Provision				Prior to commencement of development
Alan Hugh Nicholas	1 Hansart Way, Enfield EN3 8NB TP/11/1602	Construction of fourth floor to provide a total of 8 self contained flats (4 to each of the two blocks) comprising 2 x 3 bed and 2 x 2 bed, with balconies to front side and rear and an external supporting structure with solar panels and rainwater harvesting system.	25.10.13	Highlands		217,243.02		Within 10 years from the date of payment TBC	Proposed Carp Park Provision				Prior to occupation
Alan Hugh Nicholas	1 Hansart Way, Enfield EN3 8NB TP/11/1602	Construction of fourth floor to provide a total of 8 self contained flats (4 to each of the two blocks) comprising 2 x 3 bed and 2 x 2 bed, with balconies to front side and rear and an external supporting structure with solar panels and rainwater harvesting system.	25.10.13	Highlands		217,243.02	7,258.00	Within 10 years from the date of payment TBC	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Due on date of agreement. Check with Legal if this was paid?
CBT Schools Trust	On the East Side of Pitfield Way Enfield EN3 5BY P12-0210JPLA	Erection of a part single, part 2-storey one form entry primary Academy to provide a total of 7 classrooms with access ramps and cycle parking at front, 3 off street parking spaces to north of site and pedestrian and vehicular access to Pitfield Way.	28.02.13	Turkey Street		46,900.00	30,000.00	Within 5 years of the date of receipt of payment	Highways CCTV Contribution	Alan Gardney	R&E	T&T	Prior to occupation
CBT Schools Trust	On the East Side of Pitfield Way Enfield EN3 5BY P12-0210JPLA	Erection of a part single, part 2-storey one form entry primary Academy to provide a total of 7 classrooms with access ramps and cycle parking at front, 3 off street parking spaces to north of site and pedestrian and vehicular access to Pitfield Way.	28.02.13	Turkey Street		46,900.00	10,000.00	Within 5 years of the date of receipt of payment	Highways Footway Improvement Contribution to provide for footway improvements within the vicinity of the proposed development	David Taylor	R&E	T&T	Within one month of commencement of development
CBT Schools Trust	On the East Side of Pitfield Way Enfield EN3 5BY P12-0210JPLA	Erection of a part single, part 2-storey one form entry primary Academy to provide a total of 7 classrooms with access ramps and cycle parking at front, 3 off street parking spaces to north of site and pedestrian and vehicular access to Pitfield Way.	28.02.13	Turkey Street		46,900.00	3,500.00	Within 5 years of the date of receipt of payment	Travel Plan Monitoring Fee	Safiah Ishaq	R&E	T&T	Prior to occupation
CBT Schools Trust	On the East Side of Pitfield Way Enfield EN3 5BY P12-0210JPLA	Erection of a part single, part 2-storey one form entry primary Academy to provide a total of 7 classrooms with access ramps and cycle parking at front, 3 off street parking spaces to north of site and pedestrian and vehicular access to Pitfield Way.	28.02.13	Turkey Street		46,900.00		Within 5 years of the date of receipt of payment	Interim Travel Plan / Travel Plan	Safiah Ishaq	R&E		No later than 2 months prior to the first date of occupation
CBT Schools Trust	On the East Side of Pitfield Way Enfield EN3 5BY P12-0210JPLA	Erection of a part single, part 2-storey one form entry primary Academy to provide a total of 7 classrooms with access ramps and cycle parking at front, 3 off street parking spaces to north of site and pedestrian and vehicular access to Pitfield Way.	28.02.13	Turkey Street		46,900.00	3,400.00	Within 5 years of the date of receipt of payment	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	On completion of the S106
Janet Carol Silvey	LAND ADJACENT TO,84, BIRBECK ROAD, ENFIELD, EN2 8ED	Erection of 1 x 2 bed single family dwelling with off street parking.	09.09.13	Chase		16,580.00	13,934.50	No Deadline	Affordable Housing Contribution towards provision of affordable housing in the borough	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	Due upon occupation
Janet Carol Silvey	LAND ADJACENT TO,84, BIRBECK ROAD, ENFIELD, EN2 8ED	Erection of 1 x 2 bed single family dwelling with off street parking.	09.09.13	Chase		16,580.00	1,855.98	No Deadline	Education Contribution towards provision of educational facilities within the borough of Enfield	Keith Rowley	S&CS	EDU	Due upon occupation
Janet Carol Silvey	LAND ADJACENT TO,84, BIRBECK ROAD, ENFIELD, EN2 8ED	Erection of 1 x 2 bed single family dwelling with off street parking.	09.09.13	Chase		16,580.00	789.52	No Deadline	S106 Management Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	PAID
Southern Pacific Mortgage Limited	19, NORTHAMBERLAND AVENUE, ENFIELD, EN1 4HF	Subdivision of site, erection of 1 x 2 bed attached single family dwelling including extension to the roof at the side and single storey rear extension to existing dwelling.	07.03.14	TBC		9,572.70	9,094.70	No Deadline	Affordable Housing Contribution towards provision of affordable housing in the borough	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	Both payments due on commencement of development
Southern Pacific Mortgage Limited	19, NORTHAMBERLAND AVENUE, ENFIELD, EN1 4HF	Subdivision of site, erection of 1 x 2 bed attached single family dwelling including extension to the roof at the side and single storey rear extension to existing dwelling.	07.03.14	TBC		9,572.70	478.00	No Deadline	S106 Management Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Both payments due on commencement of development
Abbey Homes London Limited	178 Baker Street EN1 315 P13-01487P/A	Erection of maisonard roof to provide 1 x 2 bed self contained flat.	17.03.14	Chase		19,476.85	16,693.40		Affordable Housing Contribution towards provision of affordable housing in the borough	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	On commencement of development
Abbey Homes London Limited	178 Baker Street EN1 315 P13-01487P/A	Erection of maisonard roof to provide 1 x 2 bed self contained flat.	17.03.14	Chase		19,476.85	1,855.98		Education Contribution towards provision of educational facilities within the borough of Enfield	Keith Rowley	S&CS	EDU	On occupation of development
Abbey Homes London Limited	178 Baker Street EN1 315 P13-01487P/A	Erection of maisonard roof to provide 1 x 2 bed self contained flat.	17.03.14	Chase		19,476.85	927.47		S106 Management Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	On commencement of development TBC if paid with Legal.
Michael Anthony Byrne	111, Bullmoor Lane Enfield EN3 6TQ P14-00277P/A	Sub-division of site and erection of 4 self contained flats	27.11.14	Enfield Lock		49,274.45	42,612.10		Affordable Housing Contribution towards provision of affordable housing in the borough	Sarah Carter	HHAASC	Estate renewal	Only completion memo received - more info to be added
Michael Anthony Byrne	111, Bullmoor Lane Enfield EN3 6TQ P14-00277P/A	Sub-division of site and erection of 4 self contained flats	27.11.14	Enfield Lock		49,274.45	4,315.95		Education Contribution towards provision of educational facilities within the borough of Enfield	Keith Rowley	S&CS	EDU	Only completion memo received - more info to be added
Michael Anthony Byrne	111, Bullmoor Lane Enfield EN3 6TQ P14-00277P/A	Sub-division of site and erection of 4 self contained flats	27.11.14	Enfield Lock		49,274.45	2,346.40		S106 Management Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Only completion memo received - more info to be added
Dumis Properties	73 Trent Gardens London N14 4QB TP/10/1128	Erection of a part 3-storey, part 2-storey rear extension incorporating dormer windows to front, both sides and rear to provide 44 additional bedrooms to an existing home for the elderly with communal areas and an additional 8 car parking spaces.	01.04.11	Cockfosters	Southgate	156,000.00	156,000.00	NO DEADLINE	Health To be paid to the Council to enable Council to pay NHS Enfield PCT Primary Care to enable the PCT to reimburse the medical practices	Shahid Ahmed	HHAASC	PUBLIC HEALTH	Details have recently been submitted to the development management team, although the building control database indicates that works have not started. Developer has been contacted for an update to confirm whether works have started.
Fairview New Homes	/o Cherry Blossom Close and P/F by NCR BOWES TP/06/1845	Redevelopment of site for residential development comprising 142 units (12 houses and 130 flats) together with open space for Sport and Recreation Use and associated infrastructure (Outline application - layout, scale and access).	06.08.07 09.12.08.11	Bowes	Southgate	304,000.00	162,000.00	5 years from the date of receipt	Education Contribution towards provision of educational facilities within Enfield as a consequence of the development	Keith Rowley	S&CS	EDU	Discussions are taking place to alter nature of the provision to provide more open space/parkland, which would require an amendment to the S106. Awaiting further details from DM
Fairview New Homes	/o Cherry Blossom Close and P/F by NCR BOWES TP/06/1845	Redevelopment of site for residential development comprising 142 units (12 houses and 130 flats) together with open space for Sport and Recreation Use and associated infrastructure (Outline application - layout, scale and access).	06.08.07 09.12.08.11	Bowes	Southgate	304,000.00	Non monetary	5 years from the date of receipt	Affordable Housing (16 units)	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	Discussions are taking place to alter nature of the provision to provide more open space/parkland, which would require an amendment to the S106. Awaiting further details from DM
Fairview New Homes	/o Cherry Blossom Close and P/F by NCR BOWES TP/06/1845	Redevelopment of site for residential development comprising 142 units (12 houses and 130 flats) together with open space for Sport and Recreation Use and associated infrastructure (Outline application - layout, scale and access).	06.08.07 09.12.08.11	Bowes	Southgate	304,000.00	142,000.00	5 years from the date of receipt	Public Transport for the provision of public transport and highways facilities within the vicinity of the land	David Taylor	R&E	T&T	Discussions are taking place to alter nature of the provision to provide more open space/parkland, which would require an amendment to the S106. Awaiting further details from DM
Fairview New Homes	/o Cherry Blossom Close and P/F by NCR BOWES TP/06/1845	Redevelopment of site for residential development comprising 142 units (12 houses and 130 flats) together with open space for Sport and Recreation Use and associated infrastructure (Outline application - layout, scale and access).	06.08.07 09.12.08.11	Bowes	Southgate	304,000.00	Non monetary	5 years from the date of receipt	Sports and Leisure Facility Land Details of scheme for management, maintenance, ownership and use of sports facilities land	R&E	DM/PARKS		Discussions are taking place to alter nature of the provision to provide more open space/parkland, which would require an amendment to the S106. Awaiting further details from DM
Fairview New Homes	/o Cherry Blossom Close and P/F by NCR BOWES TP/06/1845	Redevelopment of site for residential development comprising 142 units (12 houses and 130 flats) together with open space for Sport and Recreation Use and associated infrastructure (Outline application - layout, scale and access).	06.08.07 09.12.08.11	Bowes	Southgate	304,000.00	Non monetary	5 years from the date of receipt	Public Access Route/Adjoining Land Access Routes Details to be submitted	R&E			Discussions are taking place to alter nature of the provision to provide more open space/parkland, which would require an amendment to the S106. Awaiting further details from DM
Southgate Auction Rooms, LTD, and Nalwest Bank	65-67 High Street TP/09/1624	Redevelopment of site to provide a 3-storey block comprising of 3 retail units (A1 use) at ground floor and 5 x 2 bed flats at first and second floor, with front and rear dormers, together with raised amenity area, off street parking and new access from B	18.08.11	Southgate	Southgate	20,000.00		Within 5 years from the date of receipt of payment	Traffic Regulation Order Request & Contribution	Jonathan Goodson	R&E	T&T	All payments are due on commencement of development. Building Control Database checked. No details have been submitted to Development Management. Developer has been contacted for an update.

Southgate Auction Rooms LTD, and Natwest Bank	65-67 High Street TP/09/1624	Redevelopment of site to provide 3 storey block comprising of 3 retail units (14 use) at ground floor and 5 x 2 bed flats at first and second floor, with front and rear dormers, together with raised amenity areas, off street parking and new access from front	18.08.11	Southgate	Southgate	20,000.00	20,000.00	Within 5 years from the date of receipt of payment	To improve Highway safety to include additional waiting restrictions, introduction of speed activated warning signs, contribution to green cycle route and any other related highway safety measures	David Taylor	R&E	T&T	All payments are due on commencement of development. Building Control Database checked. No details have been submitted to Development Management. Developer has been contacted for an update.
ILT Mortgages	103 Camlet Way EN4 DNL TP/08/0647/RENI	Renewal of unimplemented permission granted under ref: TP/08/0647 for the demolition of existing building and subdivision of site and erection of two bed 2 storey detached dwelling houses with accommodation in roof space, dormer windows together with side balcony and detached double garage to house one and construction of associated accesses.	27.03.12	Cockfosters	Southgate	32,288.55	30,751.00	NO DEADLINE	Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	All payments are due on commencement of development. Building Control Database checked. No details have been submitted to Development Management. Developer has been contacted for an update.
ILT Mortgages	103 Camlet Way EN4 DNL TP/08/0647/RENI	Renewal of unimplemented permission granted under ref: TP/08/0647 for the demolition of existing building and subdivision of site and erection of two bed 2 storey detached dwelling houses with accommodation in roof space, dormer windows together with side balcony and detached double garage to house one and construction of associated accesses.	27.03.12	Cockfosters	Southgate	32,288.55	1,537.55	NO DEADLINE	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	All payments are due on commencement of development. Building Control Database checked. No details have been submitted to Development Management. Developer has been contacted for an update.
Bank of Cyprus Ltd	69 Church Street London N9 9PY TP/11/0663	Demolition of existing bungalow and erection of a part 3, part 4 storey block of 8 self contained flats (2 x 1 bed and 6 x 2 bed) with cycle parking, refuse storage, amenity space and front boundary wall.	29.03.12	Hazelbury	Southgate	53,500.00	51,000.00	NO DEADLINE	Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	On completion of the sale of the sixth flat. Agent confirmed that works are scheduled to start in March 2013.
Bank of Cyprus Ltd	69 Church Street London N9 9PY TP/11/0663	Demolition of existing bungalow and erection of a part 3, part 4 storey block of 8 self contained flats (2 x 1 bed and 6 x 2 bed) with cycle parking, refuse storage, amenity space and front boundary wall.	29.03.12	Hazelbury	Southgate	53,500.00	2,500.00	NO DEADLINE	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	On completion of the sale of the sixth flat. Agent confirmed that works are scheduled to start in March 2013.
Arun & Linda Raichura	399a Green Lanes London N13 4TY P12-012879LA	Conversion of first and second floor to form 2 x 1 bed self contained flats involving rear dormer window.	16.01.13	Palmer's Green	Southgate	634.19	603.99	NO DEADLINE	Education to provide additional educational facilities within the Borough required as a consequence of development	Keith Rowley	SC&CS	EDU	Prior to commencement of development
Arun & Linda Raichura	399a Green Lanes London N13 4TY P12-012879LA	Conversion of first and second floor to form 2 x 1 bed self contained flats involving rear dormer window.	16.01.13	Palmer's Green	Southgate	634.19	30.20	NO DEADLINE	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	PAID
Notting Hill Housing Trust	59 Telford Road London N11 2RH P12-006379LA	Demolition of existing dwelling and erection of an end of terrace 4 bed single family dwelling with rooms in roof and rear dormer.	07.08.12	Southgate Green	Southgate	11,979.45	11,409.00	NO DEADLINE	Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	
Notting Hill Housing Trust	59 Telford Road London N11 2RH P12-006379LA	Demolition of existing dwelling and erection of an end of terrace 4 bed single family dwelling with rooms in roof and rear dormer.	07.08.12	Southgate Green	Southgate	11,979.45	570.45	NO DEADLINE	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Due on commencement of development
Ramesh Nakanram Godhan Nakanram and Gendira Nakanram	32 The Limes Avenue, London N11 1RH	Demolition of existing dwelling and erection of 2 x 4 bed, 2 storey semi detached single family dwellings with rear dormer, off street parking and vehicular access to The Limes.	08.04.13	Southgate Green		11,850.00	7,647.50	NO DEADLINE	Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	Received 2013/14
Ramesh Nakanram Godhan Nakanram and Gendira Nakanram	32 The Limes Avenue, London N11 1RH	Demolition of existing dwelling and erection of 2 x 4 bed, 2 storey semi detached single family dwellings with rear dormer, off street parking and vehicular access to The Limes.	08.04.13	Southgate Green		11,850.00	3,800.00	NO DEADLINE	Mayor's CL	TL	TL	TL	Received 2013/14
Ramesh Nakanram Godhan Nakanram and Gendira Nakanram	32 The Limes Avenue, London N11 1RH	Demolition of existing dwelling and erection of 2 x 4 bed, 2 storey semi detached single family dwellings with rear dormer, off street parking and vehicular access to The Limes.	08.04.13	Southgate Green		11,850.00	402.50	NO DEADLINE	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Payment due on completion of S106. RECEIVED
Chat Investments Ltd	80/84 Chase Side Road, London N14 5PH TP/09/0510	Conversion of upper floors to provide 9 self contained flats (3 x 3 bed, 3 x 2 bed, 1 x 1 bed and 2 x studios) involving construction of 3rd floor to front and roof terrace to rear.	30.04.13	Southgate		16,887.00	16,887.00	NO DEADLINE	Open Space Contribution towards improvements to amenity space within the vicinity	Matt Watts	R&E	PARKS	Payment due on commencement of development (to be index linked)
Pearl Property Limited	Land at Grove Close, Avenue Road, London N4 3JN TP/11/1257	Erection of a part single, part 2 storey building at rear to provide 8 self contained flats (5 x 2 bed, 3 x 3 bed) with lower ground floor car park, cycle parking and associated facilities and landscaping of courtyard together with formation of access ramp a main entrance to existing block	01.10.12	Southgate		222,005.55	181,430.08	10 years from the date of receipt	Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	No later than eighteen months from the commencement of development (to be index linked)
Pearl Property Limited	Land at Grove Close, Avenue Road, London N4 3JN TP/11/1257	Erection of a part single, part 2 storey building at rear to provide 8 self contained flats (5 x 2 bed, 3 x 3 bed) with lower ground floor car park, cycle parking and associated facilities and landscaping of courtyard together with formation of access ramp a main entrance to existing block	01.10.12	Southgate		222,005.55	30,003.78	10 years from the date of receipt	Education to provide additional educational facilities within the Borough	Keith Rowley	SC&CS	EDU	No later than the occupation date (to be index linked)
Pearl Property Limited	Land at Grove Close, Avenue Road, London N4 3JN TP/11/1257	Erection of a part single, part 2 storey building at rear to provide 8 self contained flats (5 x 2 bed, 3 x 3 bed) with lower ground floor car park, cycle parking and associated facilities and landscaping of courtyard together with formation of access ramp a main entrance to existing block	01.10.12	Southgate		222,005.55	10,371.69	10 years from the date of receipt	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	to be paid on or before commencement of development (to be index linked)
Metro Bank Plc & Growth Properties	1 Melbourne Avenue N13 4SY P13-00479PLA	Conversion of single family dwelling into 3x3 bed and 1x2 bed self contained flats involving demolition of outbuildings and side extension and erection of a single storey side extension, rear dormer and alterations to ground floor rear fenestration.	26.06.13	Bowes		1,947.75	1,855.00	NO DEADLINE	Education to provide additional educational facilities within the Borough	Keith Rowley	SC&CS	EDU	On commencement of development (to be index linked)
Metro Bank Plc & Growth Properties	1 Melbourne Avenue N13 4SY P13-00479PLA	Conversion of single family dwelling into 3x3 bed and 1x2 bed self contained flats involving demolition of outbuildings and side extension and erection of a single storey side extension, rear dormer and alterations to ground floor rear fenestration.	26.06.13	Bowes		1,947.75	92.75	NO DEADLINE	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	On commencement of development (to be index linked)
Hovesian Properties Limited Kypros Nicholas & Maria Nicholas	10 and 12 Old Park Road and garages adjacent to 41-51 Calshot Way P13-01289PLA	Redevelopment of site to provide 16 residential units in 2 x 3 storey blocks (comprising Block A 4 x 2 bed and 3 x 3 bed and Block B 5 x 3 bed and 4 x 2 bed self contained flats with basement parking, access from Old Park Road, terraces/balconies to ground, first and second floors at front side and rear and accommodation in roof spaces with dormer windows to front and rear, including demolition of existing garages and 2 x dwellings.	06.08.13	Grange		315,500.50	241,681.07	Within 10 years of date of payment	Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	Prior to commencement 35% i.e. due on completion of the sale of the 7th Market Housing Unit.
Hovesian Properties Limited Kypros Nicholas & Maria Nicholas	10 and 12 Old Park Road and garages adjacent to 41-51 Calshot Way P13-01289PLA	Redevelopment of site to provide 16 residential units in 2 x 3 storey blocks (comprising Block A 4 x 2 bed and 3 x 3 bed and Block B 5 x 3 bed and 4 x 2 bed self contained flats with basement parking, access from Old Park Road, terraces/balconies to ground, first and second floors at front side and rear and accommodation in roof spaces with dormer windows to front and rear, including demolition of existing garages and 2 x dwellings.	06.08.13	Grange		315,500.50	0	Within 10 years of date of payment	Overage	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	On completion of the sale of the 16th Market Housing Unit. Owner to notify the Council on sale of the 7th, 13th and on sale of all housing units.
Hovesian Properties Limited Kypros Nicholas & Maria Nicholas	10 and 12 Old Park Road and garages adjacent to 41-51 Calshot Way P13-01289PLA	Redevelopment of site to provide 16 residential units in 2 x 3 storey blocks (comprising Block A 4 x 2 bed and 3 x 3 bed and Block B 5 x 3 bed and 4 x 2 bed self contained flats with basement parking, access from Old Park Road, terraces/balconies to ground, first and second floors at front side and rear and accommodation in roof spaces with dormer windows to front and rear, including demolition of existing garages and 2 x dwellings.	06.08.13	Grange		315,500.50	56,295.60	Within 10 years of date of payment	Education to provide additional educational facilities within the Borough	Keith Rowley	SC&CS	EDU	Prior to commencement of development
Hovesian Properties Limited Kypros Nicholas & Maria Nicholas	10 and 12 Old Park Road and garages adjacent to 41-51 Calshot Way P13-01289PLA	Redevelopment of site to provide 16 residential units in 2 x 3 storey blocks (comprising Block A 4 x 2 bed and 3 x 3 bed and Block B 5 x 3 bed and 4 x 2 bed self contained flats with basement parking, access from Old Park Road, terraces/balconies to ground, first and second floors at front side and rear and accommodation in roof spaces with dormer windows to front and rear, including demolition of existing garages and 2 x dwellings.	06.08.13	Grange		315,500.50	2,500.00	Within 10 years of date of payment	Waiving Restrictions towards the costs of the design and implementation of waiting restrictions on Calshot Way or within the vicinity of the vehicular access to the site as shown in the application.	David Taylor	R&E	T&T	Prior to commencement of development
Hovesian Properties Limited Kypros Nicholas & Maria Nicholas	10 and 12 Old Park Road and garages adjacent to 41-51 Calshot Way P13-01289PLA	Redevelopment of site to provide 16 residential units in 2 x 3 storey blocks (comprising Block A 4 x 2 bed and 3 x 3 bed and Block B 5 x 3 bed and 4 x 2 bed self contained flats) with basement parking, access from Old Park Road, terraces/balconies to ground, first and second floors at front side and rear and accommodation in roof spaces with dormer windows to front and rear, including demolition of existing garages and 2 x dwellings.	06.08.13	Grange		315,500.50	15,023.83		S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Prior to commencement
M Christopher Dunn & Sammi Harrison	110 Bush Hill London N21 2BS TP/11/0559	Demolition of existing dwelling and subdivision of site, erection of 2 x 5 bed detached single family dwellings, 2 x vehicular access to front.	11.07.13	Grange		32,288.00	30,751.00	Within 15 years of date of payment	Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	Prior to commencement of development
M Christopher Dunn & Sammi Harrison	110 Bush Hill London N21 2BS TP/11/0559	Demolition of existing dwelling and subdivision of site, erection of 2 x 5 bed detached single family dwellings, 2 x vehicular access to front.	11.07.13	Grange		32,288.00	1,537.00	Within 15 years of date of payment	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Upon completion of the agreement
Banner Homes Central Limited & Barclays Bank plc & Cysydale Bank plc	379 Cockfosters Road Barnet EN4 0QT P12-01699PLA	Redevelopment of site to provide a part 2, part 3 storey block of 10 self contained flats (9 x 3 bed and 1 x 2 bed) with rooms in roof with dormer windows to all elevations, basement parking and access ramp and access to Cockfosters road.	11.10.13	Cockfosters		374,076.86	301,000.00		Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	Invoice sent 20/06/2016
Banner Homes Central Limited & Barclays Bank plc & Cysydale Bank plc	379 Cockfosters Road Barnet EN4 0QT P12-01699PLA	Redevelopment of site to provide a part 2, part 3 storey block of 10 self contained flats (9 x 3 bed and 1 x 2 bed) with rooms in roof with dormer windows to all elevations, basement parking and access ramp and access to Cockfosters road.	11.10.13	Cockfosters		374,076.86	TBC		Overage	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	Invoice sent 20/06/2016
Banner Homes Central Limited & Barclays Bank plc & Cysydale Bank plc	379 Cockfosters Road Barnet EN4 0QT P12-01699PLA	Redevelopment of site to provide a part 2, part 3 storey block of 10 self contained flats (9 x 3 bed and 1 x 2 bed) with rooms in roof with dormer windows to all elevations, basement parking and access ramp and access to Cockfosters road.	11.10.13	Cockfosters		374,076.86	55,263.68		Education to provide additional educational facilities within the Borough	K. Rowley	SC&CS	EDU	Invoice sent 20/06/2016
Banner Homes Central Limited & Barclays Bank plc & Cysydale Bank plc	379 Cockfosters Road Barnet EN4 0QT P12-01699PLA	Redevelopment of site to provide a part 2, part 3 storey block of 10 self contained flats (9 x 3 bed and 1 x 2 bed) with rooms in roof with dormer windows to all elevations, basement parking and access ramp and access to Cockfosters road.	11.10.13	Cockfosters		374,076.86	17,813.18		S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	PAID
Turford Properties Limited	321a Bowes Road London P13-01704PLA	Demolition of existing building and erection of part single, part 3 storey block of 9 self contained flats comprising 3 x 1 bed, 4 x 2 bed and 2 x 3 bed with balconies to front and rear, solar panels to roof, parking at front and associated landscaping.	24.09.13	Southgate Green		72,024.92	45,371.86	No Deadline	Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	Prior to commencement of development. INVOICE ISSUED
Turford Properties Limited	321a Bowes Road London P13-01704PLA	Demolition of existing building and erection of part single, part 3 storey block of 9 self contained flats comprising 3 x 1 bed, 4 x 2 bed and 2 x 3 bed with balconies to front and rear, solar panels to roof, parking at front and associated landscaping.	24.09.13	Southgate Green		72,024.92	23,051.81	No Deadline	Education to provide additional educational facilities within the Borough	K. Rowley	SC&CS	EDU	Prior to commencement of development. INVOICE ISSUED
Turford Properties Limited	321a Bowes Road London P13-01704PLA	Demolition of existing building and erection of part single, part 3 storey block of 9 self contained flats comprising 3 x 1 bed, 4 x 2 bed and 2 x 3 bed with balconies to front and rear, solar panels to roof, parking at front and associated landscaping.	24.09.13	Southgate Green		72,024.92	3,601.25	No Deadline	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Due on completion
Emmanuel Akeos, Gerard Mark Nolan, Francesco Gianni	29 Bramley Road, London, N14 4HPD13-3005PLA	Monastery Class D1 to residential language school D2	31.10.14	Southgate		3,421.00	Non monetary		Travel Plan	Anna Jakacka	R&E	T&T	Travel Plan to be submitted one month before Commencement of Development
Emmanuel Akeos, Gerard Mark Nolan, Francesco Gianni	29 Bramley Road, London, N14 4HPD13-3005PLA	Monastery Class D1 to residential language school D2	31.10.14	Southgate		3,421.00	3,421.00		S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Payable on commencement of development
Taeman Kaya	4 Durants Road, Enfield P13-01519PLA	Erection of 3 bed bungalow	27.11.14	TBC		34,698.26	26,138.00		Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	
Taeman Kaya	4 Durants Road, Enfield P13-01519PLA	Erection of 3 bed bungalow	27.11.14	TBC		34,698.26	6,907.96		Education contributions	K. Rowley	SC&CS	EDU	
Taeman Kaya	4 Durants Road, Enfield P13-01519PLA	Erection of 3 bed bungalow	27.11.14	TBC		34,698.26	1,652.30		S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	
John Allin and Gay Watson	6 Tambank Enfield EN2 7JX, P14-01455PLA	Subdivision of site and erection of 2 x 2 storey, 4 bed single family dwellings with rear dormers and off street parking	31.10.14	Grange		42,036.77	28,626.04		Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	Prior to commencement of development
John Allin and Gay Watson	6 Tambank Enfield EN2 7JX, P14-01455PLA	Subdivision of site and erection of 2 x 2 storey, 4 bed single family dwellings with rear dormers and off street parking	31.10.14	Grange		42,036.77	11,408.98		Education to provide additional educational facilities within the Borough	K. Rowley	SC&CS	EDU	Prior to commencement of development
John Allin and Gay Watson	6 Tambank Enfield EN2 7JX, P14-01455PLA	Subdivision of site and erection of 2 x 2 storey, 4 bed single family dwellings with rear dormers and off street parking	31.10.14	Grange		42,036.77	2,001.75		S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Due on day of signing the undertaking
Chancergate (Aston)_Ltd and Enfield Estate Management Co. Ltd.	Lumina Park EN1 3FS P14-1734PLA		04.11.14	Southbury		N/A	N/A		No further payment due				Payments of £7,500 and £46,000 were made pursuant to Schedule 3.4 and 3.5 of the Principal Agreement dated 18.05.2009
Dudrich Holdings and Rodgers Ian Dudding	Ridgdon Court, 75 Palminton Road, Wood Green P14-00849PLA	Conversion of existing store to provide 1 studio involving erection of single storey rear extension with fencing amenity space at front.	30.10.14	Palmer's Green		42,643.81	36,901.20	No deadline	Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	Upon commencement of development

Dudrich Holdings and Rodger Ian Dudding	Ridgion Court, 75 Palmerston Road, Wood Green P14-00849PLA	Conversion of existing store to provide 1 x studio involving erection of single storey rear extension with fencing amenity space at front.	30.10.14	Palmer's Green	42,643.81	2,030.65	No deadline	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Upon commencement of development
Dudrich Holdings and Rodger Ian Dudding	Ridgion Court, 75 Palmerston Road, Wood Green P14-00849PLA	Conversion of existing store to provide 1 x studio involving erection of single storey rear extension with fencing amenity space at front.	30.10.14	Palmer's Green	42,643.81	3,711.96	No deadline	Education Affordable Housing Contribution	Keith Rowley	S&CS	EDU	Upon commencement of development
Khan Aksu and Aylin Aksu	1 Harton Road, P14-00755PLA	Conversion of existing store to provide 1 x studio involving erection of single storey rear extension with fencing amenity space at front.	30.10.14	TBC	25,362.03	21,965.00	No deadline	as a contribution to the provision of affordable housing in Enfield required as a consequence of development	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	Received 05.07.2016
Khan Aksu and Aylin Aksu	1 Harton Road, P14-00755PLA	Conversion of existing store to provide 1 x studio involving erection of single storey rear extension with fencing amenity space at front.	30.10.14	TBC	25,362.03	1,541.05	No deadline	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Received 05.07.2016
Khan Aksu and Aylin Aksu	1 Harton Road, P14-00755PLA	Conversion of existing store to provide 1 x studio involving erection of single storey rear extension with fencing amenity space at front.	30.10.14	TBC	25,362.03	1,855.98	No deadline	Education	Keith Rowley	S&CS	EDU	Received 05.07.2016
Enoch Elshah Alshaghat Williams and Fiona Bartel Ellis	Strathmore, Bloomfield Avenue P13-02407PLA	Conversion of existing store to provide 1 x studio involving erection of single storey rear extension with fencing amenity space at front.	16.10.14	TBC	Non-monetary	N/A	No deadline	to provide additional educational facilities within the Borough	Keith Rowley	S&CS	EDU	See Clause 5 of agreement. Only Clause in S106 covers subletting, leasing or other disposal of the unit. No monitoring fee payable
Fairview New Homes (Cheques Way) Ltd	Cherry Blossom Close/Chequers Way N13 QHJ, P14-00273PLA	Conversion of existing store to provide 1 x studio involving erection of single storey rear extension with fencing amenity space at front.	26.09.14 DOV 18.05.2017	Palmer's Green	395,009.52	93,570.90	Within 5 years of receiving payment	Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	Payable on or before first occupation of development
Fairview New Homes (Cheques Way) Ltd	Cherry Blossom Close/Chequers Way N13 QHJ, P14-00273PLA	Conversion of existing store to provide 1 x studio involving erection of single storey rear extension with fencing amenity space at front.	26.09.14 DOV 18.05.2017	Palmer's Green	395,009.52	5,714.74	Within 5 years of receiving payment	Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Payable on or before commencement date
Fairview New Homes (Cheques Way) Ltd	Cherry Blossom Close/Chequers Way N13 QHJ, P14-00273PLA	Conversion of existing store to provide 1 x studio involving erection of single storey rear extension with fencing amenity space at front.	26.09.14 DOV 18.05.2017	Palmer's Green	395,009.52	275,000.00	Within 5 years of receiving payment	Open Space Land Contribution	Matt Watts	R & E	PARKS	PAID - Ex gratia payment
Fairview New Homes (Cheques Way) Ltd	Cherry Blossom Close/Chequers Way N13 QHJ, P14-00273PLA	Conversion of existing store to provide 1 x studio involving erection of single storey rear extension with fencing amenity space at front.	26.09.14 DOV 18.05.2017	Palmer's Green	395,009.52	20,723.88	Within 5 years of receiving payment	Education Affordable Housing Contribution	Keith Rowley	S&CS	EDU	Payable on or before commencement date
Huseyin Eren and Ismigil Eren	588 Hertford Road Enfield EN3 5SX, P13-00025PLA	Erection of 5 self contained flats (2x1 bed, 2x2 bed, 1x3 bed) with balconies to front and side	08.07.14	Turkey Street	18,595.50	17,170.00	No deadline	to provide additional educational facilities within the Borough Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	Due on or prior to commencement date. Index-linked.
Huseyin Eren and Ismigil Eren	588 Hertford Road Enfield EN3 5SX, P13-00025PLA	Erection of 5 self contained flats (2x1 bed, 2x2 bed, 1x3 bed) with balconies to front and side	08.07.14	Turkey Street	18,595.50	885.50	No deadline	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Due on or prior to commencement date.
Rox Developments Ltd & Capital Land Ltd	Land at Freshfield Drive London N14 4PL P14/02393/FLK	Erection of 3 storey building, comprising 7 residential units	06.03.15	Bowes	124,482.22	112,533.55	No deadline	Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	Due on or prior to commencement
Rox Developments Ltd & Capital Land Ltd	Land at Freshfield Drive London N14 4PL P14/02393/FLK	Erection of 3 storey building, comprising 7 residential units	06.03.15	Bowes	124,482.22	4,662.00	No deadline	as a contribution to the provision of affordable housing in Enfield required as a consequence of development	David Taylor	R&E	T&T	Due on or prior to commencement
Rox Developments Ltd & Capital Land Ltd	Land at Freshfield Drive London N14 4PL P14/02393/FLK	Erection of 3 storey building, comprising 7 residential units	06.03.15	Bowes	124,482.22	7,286.67	No deadline	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Due on or prior to commencement
Evergreen Associates	55-57 Chase Side, London N14 5BU, P13-03434PLA	Erection of 3rd floor to existing building, to provide 2 flats	27.02.15	TBC	50,946.59	44,808.60	No deadline	Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	All obligations are due on or prior to commencement
Evergreen Associates	55-57 Chase Side, London N14 5BU, P13-03434PLA	Erection of 3rd floor to existing building, to provide 2 flats	27.02.15	TBC	50,946.59	3,711.96	No deadline	Education	Keith Rowley	S&CS	EDU	All obligations are due on or prior to commencement
Evergreen Associates	55-57 Chase Side, London N14 5BU, P13-03434PLA	Erection of 3rd floor to existing building, to provide 2 flats	27.02.15	TBC	50,946.59	2,426.03	No deadline	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	All obligations are due on or prior to commencement
Secretary of State for Communities and Local Government	Relating to the development at Middlesex University, Queensway, Enfield EN3 4EA	Conversion of existing building to an eight form secondary academy with a 480 pupil sixth form	24.02.15	TBC	42,556.40	6,125.00	No deadline	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Due prior to commencement
Secretary of State for Communities and Local Government	Relating to the development at Middlesex University, Queensway, Enfield EN3 4EA	Conversion of existing building to an eight form secondary academy with a 480 pupil sixth form	24.02.15	TBC	42,556.40	31,000.00	No deadline	Sustainable transport contribution	Anna Jakska	R&E	T&T	Due prior to commencement
Secretary of State for Communities and Local Government	Relating to the development at Middlesex University, Queensway, Enfield EN3 4EA	Conversion of existing building to an eight form secondary academy with a 480 pupil sixth form	24.02.15	TBC	42,556.40	3,431.40	No deadline	Travel Plan Management Fee	Safiah Ishaq	R&E	T&T	Due prior to first occupation
Kyriacos Antoniou, Victoria Smith and Investec Bank	381 Cockfosters Road, Enfield EN4 0J5, P14-02030PLA	Redevelopment of site and erection of a new block of 9 flats	09.03.15	Cockfosters	538,238.93	512,608.51	No deadline	Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	Due in 3 installments as follows: Payment 1 (£205,043.41) is due on completion of sale or letting of the 2nd flat. Payment 2 (£53,782.55) is due on completion of sale/letting of the 4th dwelling. Payment 3 (£53,782.55) is due on completion of sale/letting of 6th dwelling.
Kyriacos Antoniou, Victoria Smith and Investec Bank	381 Cockfosters Road, Enfield EN4 0J5, P14-02030PLA	Redevelopment of site and erection of a new block of 9 flats	09.03.15	Cockfosters	538,238.93	25,630.42	No deadline	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	
Telida Limited and Galveston Investments S.A	Turo House, 176 Green Lanes, N13 7P/08/224A	Restoration and repair of Turo House as a single family dwelling, conversion of Coach House to a single family dwelling involving demolition of existing workshop and external alterations, together with a total of 25 residential units	02.09.14	Palmer's Green	11,200.00	1,200.00	No deadline	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Invoice sent 21.04.15, money received 30.04.15
Telida Limited and Galveston Investments S.A	Turo House, 176 Green Lanes, N13 7P/08/224A	Restoration and repair of Turo House as a single family dwelling, conversion of Coach House to a single family dwelling involving demolition of existing workshop and external alterations, together with a total of 25 residential units	02.09.14	Palmer's Green	11,200.00	10,000.00	No deadline	Highway Contribution	David Taylor	R&E	T&T	Invoice sent 21.04.15, money received 30.04.15 and paid against CTO411
Peachwalk Properties Ltd	10 Park Road Edmonton N18 2UJ, 14/02467/FLK	Erection of a four storey block comprising 18 self contained flats (7 x 1 bed, 7 x 2 bed, 4 x 3 bed) with balconies, amenity area, associated access via Park Road and surface car parking.	29.05.15	Edmonton Green	115,291.00	55,613.00	No deadline	Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	Due on or prior to commencement date
Peachwalk Properties Ltd	10 Park Road Edmonton N18 2UJ, 14/02467/FLK	Erection of a four storey block comprising 18 self contained flats (7 x 1 bed, 7 x 2 bed, 4 x 3 bed) with balconies, amenity area, associated access via Park Road and surface car parking.	29.05.15	Edmonton Green	115,291.00	7,326.00	No deadline	Education Cycleways Contribution	David Taylor	R&E	T&T	Due on or prior to commencement date
Peachwalk Properties Ltd	10 Park Road Edmonton N18 2UJ, 14/02467/FLK	Erection of a four storey block comprising 18 self contained flats (7 x 1 bed, 7 x 2 bed, 4 x 3 bed) with balconies, amenity area, associated access via Park Road and surface car parking.	29.05.15	Edmonton Green	115,291.00	44,808.60	No deadline	to provide additional educational facilities within the Borough necessitated by the development	Keith Rowley	S&CS	EDU	Due on or prior to commencement date
Peachwalk Properties Ltd	10 Park Road Edmonton N18 2UJ, 14/02467/FLK	Erection of a four storey block comprising 18 self contained flats (7 x 1 bed, 7 x 2 bed, 4 x 3 bed) with balconies, amenity area, associated access via Park Road and surface car parking.	29.05.15	Edmonton Green	115,291.00	7,500.00	No deadline	Waiting and Loading Restriction Contribution	David Taylor	R&E	T&T	Due on or prior to commencement date
Michael William George Peary and Michael Edward Peary	797-799 Great Cambridge Road Enfield, P13-02887PLA	Subdivision of site and erection of 4 x 4-bed terraced single family dwellings with front and rear dormers and balconies to first floor rear, amenity space and boundary fencing with undercroft parking	20.05.15	Southbury	50,158.49	47,769.99	No deadline	Affordable Housing	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	50% due on or before commencement date (£23,885.00)
Michael William George Peary and Michael Edward Peary	797-799 Great Cambridge Road Enfield, P13-02887PLA	Subdivision of site and erection of 4 x 4-bed terraced single family dwellings with front and rear dormers and balconies to first floor rear, amenity space and boundary fencing with undercroft parking	20.05.15	Southbury	50,158.49	2,388.50	No deadline	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	Due in full on or before commencement date.
Thomas Wren Homes Ltd (2) Thomas Wren and Margaret Wren (3) Barnett Waddingham Trustees (1980) Ltd	Woodcroft Sports Ground 14/04651/FLK	Conversion of existing store to provide 1 x studio involving erection of single storey rear extension with fencing amenity space at front.	02.06.15	Southbury	457,566.53	436,158.60	No deadline	Affordable Housing Contribution as a contribution to the provision of affordable housing in Enfield required as a consequence of development	Sarah Carter	HHAASC	Development & Estate Renewal	Prior to commencement of development
Thomas Wren Homes Ltd (2) Thomas Wren and Margaret Wren (3) Barnett Waddingham Trustees (1980) Ltd	Woodcroft Sports Ground 14/04651/FLK	Conversion of existing store to provide 1 x studio involving erection of single storey rear extension with fencing amenity space at front.	02.06.15	Southbury	457,566.53	21,807.93	No deadline	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	
Tottenham Hotspur Academy (Enfield) Ltd	Myddleton Farm, Bulls Cross, Enfield EN2 9HE, 14/09151/FLK	Development to provide a 45-room player lodge with ancillary facilities in conjunction with the adjacent Tottenham Hotspur FC Training Centre	16.06.15	Chase	1,050.00	1,050.00	No deadline	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	
Wellingo Ltd, Emil and Robert Baruch	91 Wellington Road, Enfield EN1 2PW, P14-00794PLA	Conversion of care home to 8 self contained flats (2x4 bed, 3x2bed, 2 x1bed and 1 studio), rear extension, 1 side dormer and rearrangement of forecourt to provide 5 parking spaces	14.08.2015	Bush Hill Park	91,884.95	55,712.08	No deadline	Affordable Housing Contribution as a contribution to the provision of affordable housing in the Borough of Enfield	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	All monies due on date of signing the S106. Monitoring Fee paid. Invoice to be sent for remaining contributions
Wellingo Ltd, Emil and Robert Baruch	91 Wellington Road, Enfield EN1 2PW, P14-00794PLA	Conversion of care home to 8 self contained flats (2x4 bed, 3x2bed, 2 x1bed and 1 studio), rear extension, 1 side dormer and rearrangement of forecourt to provide 5 parking spaces	14.08.2015	Bush Hill Park	91,884.95	4,375.00	No deadline	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	All monies due on date of signing the S106. Monitoring Fee paid. Invoice to be sent for remaining contributions
Wellingo Ltd, Emil and Robert Baruch	91 Wellington Road, Enfield EN1 2PW, P14-00794PLA	Conversion of care home to 8 self contained flats (2x4 bed, 3x2bed, 2 x1bed and 1 studio), rear extension, 1 side dormer and rearrangement of forecourt to provide 5 parking spaces	14.08.2015	Bush Hill Park	91,884.95	30,297.87	No deadline	to provide additional educational facilities within the Borough of Enfield	Keith Rowley	S&CS	EDU	All monies due on date of signing the S106. Monitoring Fee paid. Invoice to be sent for remaining contributions
Wellingo Ltd, Emil and Robert Baruch	91 Wellington Road, Enfield EN1 2PW, P14-00794PLA	Conversion of care home to 8 self contained flats (2x4 bed, 3x2bed, 2 x1bed and 1 studio), rear extension, 1 side dormer and rearrangement of forecourt to provide 5 parking spaces	14.08.2015	Bush Hill Park	91,884.95	1,500.00	No deadline	Greenways contribution to be paid to the Council as a contribution to the provision of all planned Greenway routes within 500m radius of the site	David Taylor	R&E	T&T	All monies due on date of signing the S106. Monitoring Fee paid. Invoice to be sent for remaining contributions
PPR Central Maze LLP and M & O Entertainment Ltd	The Maze Public House 7 Chase Side London N14 5BP 14/00779/FLK	Demolition of rear of public house, replacement with a four storey extension and alterations to provide an enlarged public house and 8 flats (2x4 bed, 4x2 bed, and 1x3 bed)	27.08.2015	Southgate	3,996.00	3,996.00	No deadline	Cycle Facilities towards improvement of cycle facilities in the area	David Taylor	R&E	T&T	Due on or prior to commencement date
Origin Housing Ltd	18 Brimsdown Avenue Enfield EN3 5HZ, 14/04854/FLK	Redevelopment of site to provide a 3 storey block of 21 self contained flats (6 x 1 bed, 12 x 2 bed and 3 x 3 bed) with balconies to front and rear	23.09.2015	Brimdown	64,165.86	520.00	No deadline	Business and Employment Initiatives Contribution	Garvin Redman	R&E	BED	
Origin Housing Ltd	18 Brimsdown Avenue Enfield EN3 5HZ, 14/04854/FLK	Redevelopment of site to provide a 3 storey block of 21 self contained flats (6 x 1 bed, 12 x 2 bed and 3 x 3 bed) with balconies to front and rear	23.09.2015	Brimdown	64,165.86	13,986.00	No deadline	Educational Facilities Contribution	David Taylor	R&E	T&T	PAID 5/2/16
Origin Housing Ltd	18 Brimsdown Avenue Enfield EN3 5HZ, 14/04854/FLK	Redevelopment of site to provide a 3 storey block of 21 self contained flats (6 x 1 bed, 12 x 2 bed and 3 x 3 bed) with balconies to front and rear	23.09.2015	Brimdown	64,165.86	46,629.58	No deadline	Cycle Contribution	Keith Rowley	S&CS	EDU	PAID 5/2/16
Origin Housing Ltd	18 Brimsdown Avenue Enfield EN3 5HZ, 14/04854/FLK	Redevelopment of site to provide a 3 storey block of 21 self contained flats (6 x 1 bed, 12 x 2 bed and 3 x 3 bed) with balconies to front and rear	23.09.2015	Brimdown	64,165.86	Non-monetary	No deadline	Highway Works	Mick Pond	R&E	T&T	Highway works to be completed before occupation
Origin Housing Ltd	18 Brimsdown Avenue Enfield EN3 5HZ, 14/04854/FLK	Redevelopment of site to provide a 3 storey block of 21 self contained flats (6 x 1 bed, 12 x 2 bed and 3 x 3 bed) with balconies to front and rear	23.09.2015	Brimdown	64,165.86	3,030.28	No deadline	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	PAID to Legal 23 Sept 2015
Mong Ngai Liu and Albert Liu	Spencer House Brettenham Road Edmonton N18 2EU, P13-00076PLA	Conversion of existing building and addition of 2nd floor extension with terrace area to provide 7 flats (comprising 1 x 1-bed, 3 x 2-bed, and 3 x 3-bed)	28.09.2015	Edmonton	28,334.20	26,984.95	No deadline	Affordable Housing	Sarah Carter	HHAASC	Development and Estate Renewal	On or before first occupation
Mong Ngai Liu and Albert Liu	Spencer House Brettenham Road Edmonton N18 2EU, P13-00076PLA	Conversion of existing building and addition of 2nd floor extension with terrace area to provide 7 flats (comprising 1 x 1-bed, 3 x 2-bed, and 3 x 3-bed)	28.09.2015	Edmonton	28,334.20	1,349.25	No deadline	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	On or before first occupation
Tsouvanli Properties Ltd	3A Chase Side, Southgate N14 5BP, 14/03710/FLK	Conversion of offices on first and second floors to 2 x 1 bed and 1 x studio flats	28.07.2015	Southgate	Non-monetary	Non-monetary	No deadline	Parking permit restrictions	David Taylor	R&E	T&T	Obligation satisfied - developer called 23/10 and provided notice of occupation.
Dacol Ltd	Trent Boys School, 120 Cockfosters Road, Barnet EN4 0DZ, 14/04825/FLK	Construction of a two-storey building at the rear of the site for residential use (configured as two semi-detached houses) and associated parking layout, enclosure and landscaping	20.11.2015	Cockfosters	3,897.56	3,711.96	No deadline	Education Contribution	Keith Rowley	S&CS	EDU	
Dacol Ltd	Trent Boys School, 120 Cockfosters Road, Barnet EN4 0DZ, 14/04825/FLK	Construction of a two-storey building at the rear of the site for residential use (configured as two semi-detached houses) and associated parking layout, enclosure and landscaping	20.11.2015	Cockfosters	3,897.56	185.60	No deadline	S106 Monitoring Fee	Head of Service	R&E	STRATEGIC PLANNING AND DESIGN	

Castlehaven Developments, Betsy and Bella LLP and Mark Silver	240 A and B Chase Side, London N14 4PL, P13-0168PLA	Conversion of property into 4 self contained flats comprising 2 x1 bed and 2 x 2 bed involving single storey rear extension , extension to roof at side involving side dormer windows	06.09.2013	Southgate	37,016.42	34,045.75	Affordable Housing	Sarah Carter	HHASC	Development and Estate Renewal	Due on or before commencement	
Castlehaven Developments, Betsy and Bella LLP and Mark Silver	240 A and B Chase Side, London N14 4PL, P13-0168PLA	Conversion of property into 4 self contained flats comprising 2 x1 bed and 2 x 2 bed involving single storey rear extension , extension to roof at side involving side dormer windows	06.09.2013	Southgate	37,016.42	1,207.98	Education Contribution	Keith Rowley	S&CS	EDU	Due on or before commencement	
Castlehaven Developments, Betsy and Bella LLP and Mark Silver	240 A and B Chase Side, London N14 4PL, P13-0168PLA	Conversion of property into 4 self contained flats comprising 2 x1 bed and 2 x 2 bed involving single storey rear extension , extension to roof at side involving side dormer windows	06.09.2013	Southgate	37,016.42	1,762.69	S106 Monitoring Fee	Head of Service	R&E	Strategic Planning and Design	Due on date of signing S106	
Marios Shambourou, Nicholas Apostolou, Philip Apostolou and Peter Tessas	1 Queens Avenue London N21 3JE, 15/00703/FLA	Conversion of part of existing building to form 5 self-contained flats (comprising 2x1-bed, 2x2-bed and 1x studio) including alterations to roof, creation of roof terrace and associated landscaping	07.01.2016	Southgate	3,846.85	2,997.00	Cycle Facility Improvements	David Taylor	R&E	T&T	Due on or prior to commencement	
Marios Shambourou, Nicholas Apostolou, Philip Apostolou and Peter Tessas	1 Queens Avenue London N21 3JE, 15/00703/FLA	Conversion of part of existing building to form 5 self-contained flats (comprising 2x1-bed, 2x2-bed and 1x studio) including alterations to roof, creation of roof terrace and associated landscaping	07.01.2016	Southgate	3,846.85	849.85	S106 Monitoring Fee	Head of Service	R&E	Strategic Planning and Design	Due on date of undertaking	
David John Powley	The Oak, 144 Fins Lane, London N21 2PJ, P12-0229PLA	Demolition of former dwelling and construction of a detached single storey building to provide a Medical Centre.	12.01.2016	Southgate	30,700.00	30,000.00	Highways Contribution	David Taylor	R&E	T&T		
David John Powley	The Oak, 144 Fins Lane, London N21 2PJ, P12-0229PLA	Demolition of former dwelling and construction of a detached single storey building to provide a Medical Centre.	12.01.2016	Southgate	30,700.00	700.00	Monitoring Fee	Head of Service	R&E	Strategic Planning and Design		
Connaisseur Developments Limited, Jane Maitland, Antos and Christopher Koumis	16-18 Hazelwood Lane Palmers Green London N13 5EX	Erection of a part 2, part 3 storey block of 11 self contained residential units	01.12.2015	Palmers Green	50,341.00	37,028.04	No deadline	Affordable Housing	Sarah Carter	HHASC	Development and Estate Renewal	All due on date of undertaking. Payment received 7 Dec 2015
Connaisseur Developments Limited, Jane Maitland, Antos and Christopher Koumis	16-18 Hazelwood Lane Palmers Green London N13 5EX	Erection of a part 2, part 3 storey block of 11 self contained residential units	01.12.2015	Palmers Green	50,341.00	9,600.00	No deadline	Carbon Offset Contribution	Robert Singleton	R&E	DM	All due on date of undertaking. Payment received 7 Dec 2015
Connaisseur Developments Limited, Jane Maitland, Antos and Christopher Koumis	16-18 Hazelwood Lane Palmers Green London N13 5EX	Erection of a part 2, part 3 storey block of 11 self contained residential units	01.12.2015	Palmers Green	50,341.00	3,711.96	No deadline	Education	Keith Rowley	S&CS	EDU	All due on date of undertaking. Payment received 7 Dec 2015
Connaisseur Developments Limited, Jane Maitland, Antos and Christopher Koumis	16-18 Hazelwood Lane Palmers Green London N13 5EX	Erection of a part 2, part 3 storey block of 11 self contained residential units	01.12.2015	Palmers Green	50,341.00	1.00	No deadline	Monitoring Fee	Head of Service	R&E	Strategic Planning & Design	
Robert Gruszecka and Joanna Gruszecka	324 Alma Road Enfield EN3 7RS, 15/04485/FLA	Conversion of the existing house into 1 x3 -bed and 1 x 1 bed self contained flats including conversion of the existing garage to a habitable room	25.01.2016	Ponders End	2,100.00	2,000.00	No deadline	Affordable Housing	Sarah Carter	HHASC	Development and Estate Renewal	Due on or prior to completion of the agreement
Robert Gruszecka and Joanna Gruszecka	324 Alma Road Enfield EN3 7RS, 15/04485/FLA	Conversion of the existing house into 1 x3 -bed and 1 x 1 bed self contained flats including conversion of the existing garage to a habitable room	25.01.2016	Ponders End	2,100.00	100.00	No deadline	Monitoring Fee	Head of Service	R&E	Strategic Planning & Design	Due on date of signing
G and F Philippou, The Camlet Apts Limited, Yago Group and Hampshire Trust Bank	18-20 Camlet Way, Barnet EN4 0UJ, 15/05155/FLA	Demolition of 2 existing dwellings, redevelopment of site to provide 1 x 3 storey 4 bed single family dwelling on plot 20 and erection of 2 storey building to provide 5 flats (3-bed) on plot 18 with accommodation in ground and first floors and roof space, basement parking and communal amenity space	16.02.2016	Cockfosters	354,513.43	310,000.00		Affordable Housing	Sarah Carter	HHASC	Development and Estate Renewal	Payment due in full on date of undertaking - awaiting cheque as of 16/02/16
G and F Philippou, The Camlet Apts Limited, Yago Group and Hampshire Trust Bank	18-20 Camlet Way, Barnet EN4 0UJ, 15/05155/FLA	Demolition of 2 existing dwellings, redevelopment of site to provide 1 x 3 storey 4 bed single family dwelling on plot 20 and erection of 2 storey building to provide 5 flats (3-bed) on plot 18 with accommodation in ground and first floors and roof space, basement parking and communal amenity space	16.02.2016	Cockfosters	354,513.43	27,631.84		Education Contribution	Keith Rowley	S&CS	EDU	Payment due in full on date of undertaking - awaiting cheque as of 16/02/16
G and F Philippou, The Camlet Apts Limited, Yago Group and Hampshire Trust Bank	18-20 Camlet Way, Barnet EN4 0UJ, 15/05155/FLA	Demolition of 2 existing dwellings, redevelopment of site to provide 1 x 3 storey 4 bed single family dwelling on plot 20 and erection of 2 storey building to provide 5 flats (3-bed) on plot 18 with accommodation in ground and first floors and roof space, basement parking and communal amenity space	16.02.2016	Cockfosters	354,513.43	16,881.59		Monitoring Fee	TBC	R&E	Strategic Planning & Design	Payment due in full on date of undertaking - awaiting cheque as of 16/02/16
Long Acre Securities Ltd, Castle Lane Securities Ltd, British Telecommunications PLC and Telerail Securitized Property Trustee 1 Ltd	Garages at Haslem Court, Waterfall Road, London N11 1NU, P12-02089PLA	Redevelopment of site to provide a part 2, part 3 storey block of 6 terraced houses comprising 3 x 2 bed and 3x3 bed units with roof terrace involving demolition of existing garage block	27.11.2015	TBC	73,795.05	58,145.00		Affordable Housing	Sarah Carter	HHASC	Development and Estate Renewal	Payable on or prior to commencement
Long Acre Securities Ltd, Castle Lane Securities Ltd, British Telecommunications PLC and Telerail Securitized Property Trustee 1 Ltd	Garages at Haslem Court, Waterfall Road, London N11 1NU, P12-02089PLA	Redevelopment of site to provide a part 2, part 3 storey block of 6 terraced houses comprising 3 x 2 bed and 3x3 bed units with roof terrace involving demolition of existing garage block	27.11.2015	TBC	73,795.05	11,136.00		Education Contribution	Keith Rowley	SCS	EDU	Payable on or prior to commencement
Long Acre Securities Ltd, Castle Lane Securities Ltd, British Telecommunications PLC and Telerail Securitized Property Trustee 1 Ltd	Garages at Haslem Court, Waterfall Road, London N11 1NU, P12-02089PLA	Redevelopment of site to provide a part 2, part 3 storey block of 6 terraced houses comprising 3 x 2 bed and 3x3 bed units with roof terrace involving demolition of existing garage block	27.11.2015	TBC	73,795.05	3,514.05		S106 Monitoring Fee	TBC	R&E	Strategic Planning and Design	Payable on or prior to commencement
Christopher Tzouvanis and Maroulla Tzouvanis	871 Green Lanes N21 2DS, 15/03026/FLA	Conversion of first floor into 2 x 1 bed flats.	22.01.2016	TBC	21,391.11	19,768.50		Affordable Housing	Sarah Carter	HHASC	Development and Estate Renewal	Payable on or prior to commencement
Christopher Tzouvanis and Maroulla Tzouvanis	871 Green Lanes N21 2DS, 15/03026/FLA	Conversion of first floor into 2 x 1 bed flats.	22.01.2016	TBC	21,391.11	1,018.62		S106 Monitoring Fee	TBC	R&E	Strategic Planning and Design	Payable on or prior to commencement
Christopher Tzouvanis and Maroulla Tzouvanis	871 Green Lanes N21 2DS, 15/03026/FLA	Conversion of first floor into 2 x 1 bed flats.	22.01.2016	TBC	21,391.11	603.99		Education	Keith Rowley	SCS	EDU	Payable on or prior to commencement
Kurtis Consultants and Eurobank Cyprus Ltd	65-75 High Street Southgate London N14 6LD, P14-0224PLA	Variation to planning permission ref: 7109/5624 dated 21/09/2011, for the following: 1. Reconfiguration of retail units so as to provide 2no A1/A2/B1 units. 2. Formation new entrance and new staircase to give upper level flats from the High Street. 3. Removal of rear external staircases. 4. Reconfiguration of parking bays. 5. Increase height of amenity deck area. 6. Alterations to shop fronts. 7. Alterations to rear elevation at ground floor level	08.2011, Day 12.02.2	Southgate	20,000.00	20,000.00		Highway Works	Mick Pond	R&E	T&T	
Mazelands Ltd and Arrington Ltd	Ponders End Industrial Estate East Duck Lane Enfield EN3 79P, P14-02068PLA	Redevelopment of part of existing industrial estate involving demolition of existing units and erection of replacement industrial units totalling approx. 31,552sqm of floor space for B1, B2 and B8 uses	10.03.2016	TBC	166,840.00	100,000.00		Bridge Contribution	Mick Pond	R&E	T&T	
Mazelands Ltd and Arrington Ltd	Ponders End Industrial Estate East Duck Lane Enfield EN3 79P, P14-02068PLA	Redevelopment of part of existing industrial estate involving demolition of existing units and erection of replacement industrial units totalling approx. 31,552sqm of floor space for B1, B2 and B8 uses	10.03.2016	TBC	166,840.00	3,620.00		Master Travel Plan Monitoring Fee	David Taylor	R&E	T&T	
Mazelands Ltd and Arrington Ltd	Ponders End Industrial Estate East Duck Lane Enfield EN3 79P, P14-02068PLA	Redevelopment of part of existing industrial estate involving demolition of existing units and erection of replacement industrial units totalling approx. 31,552sqm of floor space for B1, B2 and B8 uses	10.03.2016	TBC	166,840.00	9,600.00		S106 Monitoring Fee	TBC	R&E	Strategic Planning and Design	PAID
Mazelands Ltd and Arrington Ltd	Ponders End Industrial Estate East Duck Lane Enfield EN3 79P, P14-02068PLA	Redevelopment of part of existing industrial estate involving demolition of existing units and erection of replacement industrial units totalling approx. 31,552sqm of floor space for B1, B2 and B8 uses	10.03.2016	TBC	166,840.00	3,620.00		Unit Travel Plan Monitoring Fee	David Taylor	R&E	T&T	
Connaght Enterprises Ltd and Bank of Cyprus	70-72 Chase Side N14 5PA, 14/05055/FLA	Construction of 8 self contained residential units (comprising 4 x 1 bed and 4 x 2 bed) involving demolition of part of existing building at rear and erection of a part single, part 4 storey rear extension incorporating a lower ground floor parking area, balconies and sun terraces at first, second and third floor and a second and part third floor extension to existing building with balcony / terrace to third floor at front	09.03.2016	Southgate	84,247.68	71,000.00		Affordable Housing	Sarah Carter	HHASC	Development & Estates Renewal - Council Homes	On or before commencement
Connaght Enterprises Ltd and Bank of Cyprus	70-72 Chase Side N14 5PA, 14/05055/FLA	Construction of 8 self contained residential units (comprising 4 x 1 bed and 4 x 2 bed) involving demolition of part of existing building at rear and erection of a part single, part 4 storey rear extension incorporating a lower ground floor parking area, balconies and sun terraces at first, second and third floor and a second and part third floor extension to existing building with balcony / terrace to third floor at front	09.03.2016	Southgate	84,247.68	4,011.79		S106 Monitoring Fee	TBC	R&E	Strategic Planning and Design	On day of signing agreement
Connaght Enterprises Ltd and Bank of Cyprus	70-72 Chase Side N14 5PA, 14/05055/FLA	Construction of 8 self contained residential units (comprising 4 x 1 bed and 4 x 2 bed) involving demolition of part of existing building at rear and erection of a part single, part 4 storey rear extension incorporating a lower ground floor parking area, balconies and sun terraces at first, second and third floor and a second and part third floor extension to existing building with balcony / terrace to third floor at front	09.03.2016	Southgate	84,247.68	9,235.89		Education	Keith Rowley	SCS	EDU	on or before commencement
Schefflin Ltd	Site adjacent to 8 Baxter Road and rear of 34 Bretenham Road London N18 2JU, 15/04967/FLA	Redevelopment of site to provide a part single, part 2 storey terrace of 3 residential units comprising: 1 x 2 bed bungalow, 2 x 3 bed single family dwellings with associated green roof, off street parking and detached cycle/refuse store	23.02.2016	Edmonton	67,877.13	48,972.39		Affordable Housing Contribution	Sarah Carter	HHASC	Development & Estates Renewal - Council Homes	
Schefflin Ltd	Site adjacent to 8 Baxter Road and rear of 34 Bretenham Road London N18 2JU, 15/04967/FLA	Redevelopment of site to provide a part single, part 2 storey terrace of 3 residential units comprising: 1 x 2 bed bungalow, 2 x 3 bed single family dwellings with associated green roof, off street parking and detached cycle/refuse store	23.02.2016	Edmonton	67,877.13	3,232.24		Monitoring Fee	TBC	R&E	Strategic Planning and Design	
Schefflin Ltd	Site adjacent to 8 Baxter Road and rear of 34 Bretenham Road London N18 2JU, 15/04967/FLA	Redevelopment of site to provide a part single, part 2 storey terrace of 3 residential units comprising: 1 x 2 bed bungalow, 2 x 3 bed single family dwellings with associated green roof, off street parking and detached cycle/refuse store	23.02.2016	Edmonton	67,877.13	15,671.90		Education Contribution	Keith Rowley	SCS	EDU	
Stephen William Holland and Patricia Anne Holland	10 Chasewood Avenue EN2 8PT, 15/02686/FLA	Subdivision of existing dwelling into 1 x 3 bed house and 1 x 4 bed maisonette	21.11.2015	TBC	7,253.35	6,907.96		Education Contribution	Keith Rowley	SCS	EDU	After serving notice of commencement
Stephen William Holland and Patricia Anne Holland	10 Chasewood Avenue EN2 8PT, 15/02686/FLA	Subdivision of existing dwelling into 1 x 3 bed house and 1 x 4 bed maisonette	21.11.2015	TBC	7,253.35	345.39		S106 Monitoring Fee	TBC	R&E	Strategic Planning and Design	On date of signing
Greenlains Investment LLP and Commercial Acceptances Ltd	Former Green Dragon Pub, 889 Green Lanes London N21 2DP, 15/03316/FLA	Redevelopment of site to provide 7 x 3 bed, 3-storey town houses with sun terraces to front and rear and off street parking at front, part single, part 2 storey rear and single storey side extension to extend a retail unit (A1) at ground floor with ancillary storage and staff facilities at first floor and 2 x 2 bed self contained flats at second floor, external staircases, vehicular accesses to Vicars Moor Lane, car park at rear and associated plant and landscaping.	31.03.2016	Grange	367,761.06	275,000.00		Affordable Housing Contribution	Sarah Carter	HHASC	Development & Estates Renewal - Council Homes	On or prior to commencement
Greenlains Investment LLP and Commercial Acceptances Ltd	Former Green Dragon Pub, 889 Green Lanes London N21 2DP, 15/03316/FLA	Redevelopment of site to provide 7 x 3 bed, 3-storey town houses with sun terraces to front and rear and off street parking at front, part single, part 2 storey rear and single storey side extension to extend a retail unit (A1) at ground floor with ancillary storage and staff facilities at first floor and 2 x 2 bed self contained flats at second floor, external staircases, vehicular accesses to Vicars Moor Lane, car park at rear and associated plant and landscaping.	31.03.2016	Grange	367,761.06	3,620.00		Travel Plan Monitoring Fee	David Taylor	R&E	T&T	On or prior to commencement
Greenlains Investment LLP and Commercial Acceptances Ltd	Former Green Dragon Pub, 889 Green Lanes London N21 2DP, 15/03316/FLA	Redevelopment of site to provide 7 x 3 bed, 3-storey town houses with sun terraces to front and rear and off street parking at front, part single, part 2 storey rear and single storey side extension to extend a retail unit (A1) at ground floor with ancillary storage and staff facilities at first floor and 2 x 2 bed self contained flats at second floor, external staircases, vehicular accesses to Vicars Moor Lane, car park at rear and associated plant and landscaping.	31.03.2016	Grange	367,761.06	52,067.68		Education Contribution	Keith Rowley	SCS	EDU	On or prior to commencement
Greenlains Investment LLP and Commercial Acceptances Ltd	Former Green Dragon Pub, 889 Green Lanes London N21 2DP, 15/03316/FLA	Redevelopment of site to provide 7 x 3 bed, 3-storey town houses with sun terraces to front and rear and off street parking at front, part single, part 2 storey rear and single storey side extension to extend a retail unit (A1) at ground floor with ancillary storage and staff facilities at first floor and 2 x 2 bed self contained flats at second floor, external staircases, vehicular accesses to Vicars Moor Lane, car park at rear and associated plant and landscaping.	31.03.2016	Grange	367,761.06	17,073.38		Monitoring Fee	TBC	R&E	Strategic Planning and Design	Due on date of signing (31/3/16)
Greenlains Investment LLP and Commercial Acceptances Ltd	Former Green Dragon Pub, 889 Green Lanes London N21 2DP, 15/03316/FLA	Redevelopment of site to provide 7 x 3 bed, 3-storey town houses with sun terraces to front and rear and off street parking at front, part single, part 2 storey rear and single storey side extension to extend a retail unit (A1) at ground floor with ancillary storage and staff facilities at first floor and 2 x 2 bed self contained flats at second floor, external staircases, vehicular accesses to Vicars Moor Lane, car park at rear and associated plant and landscaping.	31.03.2016	Grange	367,761.06	20,000.00		CP2 contribution	David Taylor	R&E	T&T	On or prior to first occupation of the retail unit
Kenningshall Holdings Ltd and Tower Transit Operations Ltd	41 Picketts Lock Lane London N9 0AS, P14/01733PLA	Change of use of former builders merchants to a bus depot for the parking and operation of the 107 buses, refurbishment of main office building, single storey detached building to provide a staff mess room, installation of a bus wash and refuelling facility with associated plant and machinery and a 2m high acoustic fence to part eastern boundary	04.04.2016	Edmonton	24,302.55	3,431.00		Travel Plan Monitoring Fee	David Taylor	R&E	T&T	Due on date of signing (4/4/16)
Kenningshall Holdings Ltd and Tower Transit Operations Ltd	41 Picketts Lock Lane London N9 0AS, P14/01733PLA	Change of use of former builders merchants to a bus depot for the parking and operation of the 107 buses, refurbishment of main office building, single storey detached building to provide a staff mess room, installation of a bus wash and refuelling facility with associated plant and machinery and a 2m high acoustic fence to part eastern boundary	04.04.2016	Edmonton	24,302.55	18,000.00		Highways contribution	David Taylor	R&E	T&T	Prior to commencement of development
Kenningshall Holdings Ltd and Tower Transit Operations Ltd	41 Picketts Lock Lane London N9 0AS, P14/01733PLA	Change of use of former builders merchants to a bus depot for the parking and operation of the 107 buses, refurbishment of main office building, single storey detached building to provide a staff mess room, installation of a bus wash and refuelling facility with associated plant and machinery and a 2m high acoustic fence to part eastern boundary	04.04.2016	Edmonton	24,302.55	2,871.55		Monitoring Fee	TBC	R&E	Strategic Planning and Design	Due on date of signing (4/4/16)
Ian Gibbs Estate Management Ltd	2A Chase Court Gardens Enfield EN2 8DH, 15/01051/FLA	Conversion of first floor office to a studio flat involving construction of a pitched roof, new windows, entrance and external staircase at rear.	14.04.2016	TBC	7,036.00	6,096.98		Affordable Housing contribution	Sarah Carter	HHASC	Development & Estates Renewal - Council Homes	
Ian Gibbs Estate Management Ltd	2A Chase Court Gardens Enfield EN2 8DH, 15/01051/FLA	Conversion of first floor office to a studio flat involving construction of a pitched roof, new windows, entrance and external staircase at rear.	14.04.2016	TBC	7,036.00	335.03		S106 Monitoring Fee	TBC	R&E	Strategic Planning and Design	
Ian Gibbs Estate Management Ltd	2A Chase Court Gardens Enfield EN2 8DH, 15/01051/FLA	Conversion of first floor office to a studio flat involving construction of a pitched roof, new windows, entrance and external staircase at rear.	14.04.2016	TBC	7,036.00	603.99		Education contribution	Keith Rowley	SCS	EDU	

Huseyin Eren and Ismigul Eren	329 Fore Street London N9 0PD 15/0423/FUL	Conversion of 1st and 2nd floors into 2 x 1 bed self contained flats	11.04.2016	Edmonton	19,084.79	17,572.00		Affordable Housing	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	Due on or before commencement
Huseyin Eren and Ismigul Eren	329 Fore Street London N9 0PD 15/0423/FUL	Conversion of 1st and 2nd floors into 2 x 1 bed self contained flats	11.04.2016	Edmonton	19,084.79	603.99		Education	Keith Rowley	SCS	EDU	Due on or prior to occupation of development
Huseyin Eren and Ismigul Eren	329 Fore Street London N9 0PD 15/0423/FUL	Conversion of 1st and 2nd floors into 2 x 1 bed self contained flats	11.04.2016	Edmonton	19,084.79	908.80		\$106 Monitoring Fee	TBC	R&E	Strategic Planning and Design	Due on date of signing the 106
J Murphy & Sons Ltd	Relating to land at Morson Road Enfield EN3 4NQ 15/03076/FUL	Erection of a detached building to provide workshops, stores and offices for plant hire company with staff, customer and lorry parking facilities.	21.04.2016	TBC	350.00	350.00		\$106 Monitoring Fee	TBC	R&E	Strategic Planning and Design	
J Murphy & Sons Ltd	Relating to land at Morson Road Enfield EN3 4NQ 15/03076/FUL	Erection of a detached building to provide workshops, stores and offices for plant hire company with staff, customer and lorry parking facilities.	21.04.2016	TBC	350.00		TBC	Business and Employment Initiative Contribution	Gavin Redman	R&E	RED	Set at £520 x the number of weeks for which no site training was provided from commencement to practical completion
LLP Investments & Alpha Bank Ltd	203-205 Green Lanes N13 4UH 15/02143/FUL	Demolition of existing building, erection of 3 storey building incorporating office/letting agent use at ground floor and 4 self contained flats (2x2bed and 2x1bed) at first and second floors, widening of vehicle access, 3 x off street parking spaces at rear	29.03.2016	Palmer's Green	72,330.00	63,965.77	No deadline	Affordable Housing	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	
LLP Investments & Alpha Bank Ltd	203-205 Green Lanes N13 4UH 15/02143/FUL	Demolition of existing building, erection of 3 storey building incorporating office/letting agent use at ground floor and 4 self contained flats (2x2bed and 2x1bed) at first and second floors, widening of vehicle access, 3 x off street parking spaces at rear	29.03.2016	Palmer's Green	72,330.00	4,919.94	No deadline	Education	Keith Rowley	SCS	EDU	
LLP Investments & Alpha Bank Ltd	203-205 Green Lanes N13 4UH 15/02143/FUL	Demolition of existing building, erection of 3 storey building incorporating office/letting agent use at ground floor and 4 self contained flats (2x2bed and 2x1bed) at first and second floors, widening of vehicle access, 3 x off street parking spaces at rear	29.03.2016	Palmer's Green	72,330.00	3,444.29	No deadline	\$106 Monitoring Fee	TBC	R&E	Strategic Planning and Design	
Accura Investments and Raj Somaia	458 Green Lanes N13 5XD 15/05069/FUL	Conversion of upper floor into 1 x 1 bed self contained flat involving rear dormer and single storey rear extension to ground floor flat to create additional living space.	08.04.2016	Palmer's Green	17,444.99	16,010.29	No deadline	Affordable Housing	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	These contributions will not be received as the application was not implemented. A new application was submitted following the change of national policy on 13 May 2016 - the new application benefits from the NPPG 'Small Sites' exemption on S106 Affordable Housing and Education contributions.
Accura Investments and Raj Somaia	458 Green Lanes N13 5XD 15/05069/FUL	Conversion of upper floor into 1 x 1 bed self contained flat involving rear dormer and single storey rear extension to ground floor flat to create additional living space.	08.04.2016	Palmer's Green	17,444.99	603.99	No deadline	Education	Keith Rowley	SCS	EDU	These contributions will not be received as the application was not implemented. A new application was submitted following the change of national policy on 13 May 2016 - the new application benefits from the NPPG 'Small Sites' exemption on S106 Affordable Housing and Education contributions.
Accura Investments and Raj Somaia	458 Green Lanes N13 5XD 15/05069/FUL	Conversion of upper floor into 1 x 1 bed self contained flat involving rear dormer and single storey rear extension to ground floor flat to create additional living space.	08.04.2016	Palmer's Green	17,444.99	830.71	No deadline	\$106 Monitoring Fee	TBC	R&E	Strategic Planning and Design	These contributions will not be received as the application was not implemented. A new application was submitted following the change of national policy on 13 May 2016 - the new application benefits from the NPPG 'Small Sites' exemption on S106 Affordable Housing and Education contributions.
Claremont Homes Ltd, Ashley Cole, Lloyds Bank PLC, Boucap LLP and Boutique Capital Ltd	391 Cockfosters Road EN4 0IS P14-00714PLA	Demolition of existing single family dwellinghouse and erection of eno. flats (2 x 2 bed and 4 x 3 bed) in a 2-storey building with basement parking, basement accommodation, and accommodation in roof space	21.06.2016	Cockfosters	614,059.44	560,383.60		Affordable Housing	Sarah Carter	HHAASC	Development & Estates Renewal - Council Homes	3 payments - 1st payment of £168,115.08 due on completion of sale/letting of 2nd unit to complete. 2nd payment of £168,115.08 due on completion of sale or letting of 4th unit to complete. 3rd payment of £224,153.44 due on completion of sale/letting of 6th unit to complete.
Claremont Homes Ltd, Ashley Cole, Lloyds Bank PLC, Boucap LLP and Boutique Capital Ltd	391 Cockfosters Road EN4 0IS P14-00714PLA	Demolition of existing single family dwellinghouse and erection of eno. flats (2 x 2 bed and 4 x 3 bed) in a 2-storey building with basement parking, basement accommodation, and accommodation in roof space	21.06.2016	Cockfosters	614,059.44	24,435.84		Education	Keith Rowley	SCS	EDU	
Claremont Homes Ltd, Ashley Cole, Lloyds Bank PLC, Boucap LLP and Boutique Capital Ltd	391 Cockfosters Road EN4 0IS P14-00714PLA	Demolition of existing single family dwellinghouse and erection of eno. flats (2 x 2 bed and 4 x 3 bed) in a 2-storey building with basement parking, basement accommodation, and accommodation in roof space	21.06.2016	Cockfosters	614,059.44	29,240.00		\$106 Monitoring Fee	TBC	R&E	Strategic Planning and Design	
Greggs PLC	114 Brancroft Way EN3 7PL 16/00580/FUL	Part demolition and rebuild of existing warehouse areas involving 31 delivery and dispatch docks, and installation of pump house and sprinkler tanks	29.06.2016		35,970.31	32,000.31		Business and Employment Initiative contribution	Gavin Redman	R&E	RED	
Greggs PLC	114 Brancroft Way EN3 7PL 16/00580/FUL	Part demolition and rebuild of existing warehouse areas involving 31 delivery and dispatch docks, and installation of pump house and sprinkler tanks	29.06.2016		35,970.31	3,620.00		Travel Plan Monitoring Fee	David Taylor	R&E	T&T	
Greggs PLC	114 Brancroft Way EN3 7PL 16/00580/FUL	Part demolition and rebuild of existing warehouse areas involving 31 delivery and dispatch docks, and installation of pump house and sprinkler tanks	29.06.2016		35,970.31	350.00		\$106 Monitoring Fee	TBC	R&E	Strategic Planning and Design	
Phatazhand Mulchandani, Manohar Mulchandani, Nirmita Mulchandani and Neeta Mulchandani	16a Eley Road London N18 3BH P13-00075PLA	Variation of condition 4 and 15 of TP/10/1328 to allow an increase in the number of patrons from 400 to 801 and increase the opening hours from 18.00hrs to 00.00hrs to 09.00hrs to 03.00hrs 7 days a week.	25.07.2016	Edmonton	6,056.00	2,500.00		On street waiting restrictions	Mick Pond	R&E	T&T	
Phatazhand Mulchandani, Manohar Mulchandani, Nirmita Mulchandani and Neeta Mulchandani	16a Eley Road London N18 3BH P13-00075PLA	Variation of condition 4 and 15 of TP/10/1328 to allow an increase in the number of patrons from 400 to 801 and increase the opening hours from 18.00hrs to 00.00hrs to 09.00hrs to 03.00hrs 7 days a week.	25.07.2016	Edmonton	6,056.00	3,411.00		Travel Plan Monitoring Fee	David Taylor	R&E	T&T	
Phatazhand Mulchandani, Manohar Mulchandani, Nirmita Mulchandani and Neeta Mulchandani	16a Eley Road London N18 3BH P13-00075PLA	Variation of condition 4 and 15 of TP/10/1328 to allow an increase in the number of patrons from 400 to 801 and increase the opening hours from 18.00hrs to 00.00hrs to 09.00hrs to 03.00hrs 7 days a week.	25.07.2016	Edmonton	6,056.00	125.00		\$106 Monitoring Fee	TBC	R&E	Strategic Planning and Design	
Kenneth Henry Fall and United Trust Bank Ltd	Land End Cottage 18 & 20 Bush Hill London N21 2BN 15/02026/FUL	Redevelopment of site to provide 4 x 3-storey blocks of 20 self contained flats comprising 8 x 2 bed, 8 x 3 bed and 4 x 4 bed with basement car and cycle parking and refuse storage, balconies to front and rear, solar panels to roof, alteration to vehicle access and associated landscaping.	27.10.2016	TBC	420,949.22	395,564.65		Affordable Housing	Rupert Brandon	HHAASC	Development & Estates Renewal - Council Homes	(4 equal payments of £84,891.16)
Kenneth Henry Fall and United Trust Bank Ltd	Land End Cottage 18 & 20 Bush Hill London N21 2BN 15/02026/FUL	Redevelopment of site to provide 4 x 3-storey blocks of 20 self contained flats comprising 8 x 2 bed, 8 x 3 bed and 4 x 4 bed with basement car and cycle parking and refuse storage, balconies to front and rear, solar panels to roof, alteration to vehicle access and associated landscaping.	27.10.2016	TBC	420,949.22	4,216.84		Childcare	Keith Rowley	SCS	EDU	(4 equal payments of £20,380.16)
Kenneth Henry Fall and United Trust Bank Ltd	Land End Cottage 18 & 20 Bush Hill London N21 2BN 15/02026/FUL	Redevelopment of site to provide 4 x 3-storey blocks of 20 self contained flats comprising 8 x 2 bed, 8 x 3 bed and 4 x 4 bed with basement car and cycle parking and refuse storage, balconies to front and rear, solar panels to roof, alteration to vehicle access and associated landscaping.	27.10.2016	TBC	420,949.22	30,000.00		Cycle Enfield	David Taylor	R&E	T&T	(4 equal payments of £1,054.21)
Kenneth Henry Fall and United Trust Bank Ltd	Land End Cottage 18 & 20 Bush Hill London N21 2BN 15/02026/FUL	Redevelopment of site to provide 4 x 3-storey blocks of 20 self contained flats comprising 8 x 2 bed, 8 x 3 bed and 4 x 4 bed with basement car and cycle parking and refuse storage, balconies to front and rear, solar panels to roof, alteration to vehicle access and associated landscaping.	27.10.2016	TBC	420,949.22	47,167.73		\$106 Monitoring Fee	TBC	R&E	Strategic Planning and Design	PAID
Chancerygate Ltd	Land at 90-92, 98 and 104 Lockfield Avenue Enfield EN3 7PX 16/03928/FUL	Redevelopment of the site and construction of an estate road, erection of two blocks providing nine industrial units for use within Use Class B1(c), B2 and B8 with ancillary mezzanines, associated car parking and servicing, creation of new access to Brancroft Way, and alteration to junction and access on to Lockfield Avenue	26.05.2017	Brisdowen	124,376.00	112,000.00		Apprenticeship Contribution (28000 x 4)	Anna Loughlin	R&E	RED	
Chancerygate Ltd	Land at 90-92, 98 and 104 Lockfield Avenue Enfield EN3 7PX 16/03928/FUL	Redevelopment of the site and construction of an estate road, erection of two blocks providing nine industrial units for use within Use Class B1(c), B2 and B8 with ancillary mezzanines, associated car parking and servicing, creation of new access to Brancroft Way, and alteration to junction and access on to Lockfield Avenue	26.05.2017	Brisdowen	124,376.00	7,500.00		Pedestrian Environment Improvement Contribution	David Taylor	R&E	T&T	
Chancerygate Ltd	Land at 90-92, 98 and 104 Lockfield Avenue Enfield EN3 7PX 16/03928/FUL	Redevelopment of the site and construction of an estate road, erection of two blocks providing nine industrial units for use within Use Class B1(c), B2 and B8 with ancillary mezzanines, associated car parking and servicing, creation of new access to Brancroft Way, and alteration to junction and access on to Lockfield Avenue	26.05.2017	Brisdowen	124,376.00	3,620.00		Travel Plan Monitoring Fee	David Taylor	R&E	T&T	
Chancerygate Ltd	Land at 90-92, 98 and 104 Lockfield Avenue Enfield EN3 7PX 16/03928/FUL	Redevelopment of the site and construction of an estate road, erection of two blocks providing nine industrial units for use within Use Class B1(c), B2 and B8 with ancillary mezzanines, associated car parking and servicing, creation of new access to Brancroft Way, and alteration to junction and access on to Lockfield Avenue	26.05.2017	Brisdowen	124,376.00	1,256.00		\$106 Monitoring Fee	TBC	R&E	Strategic Planning and Design	

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